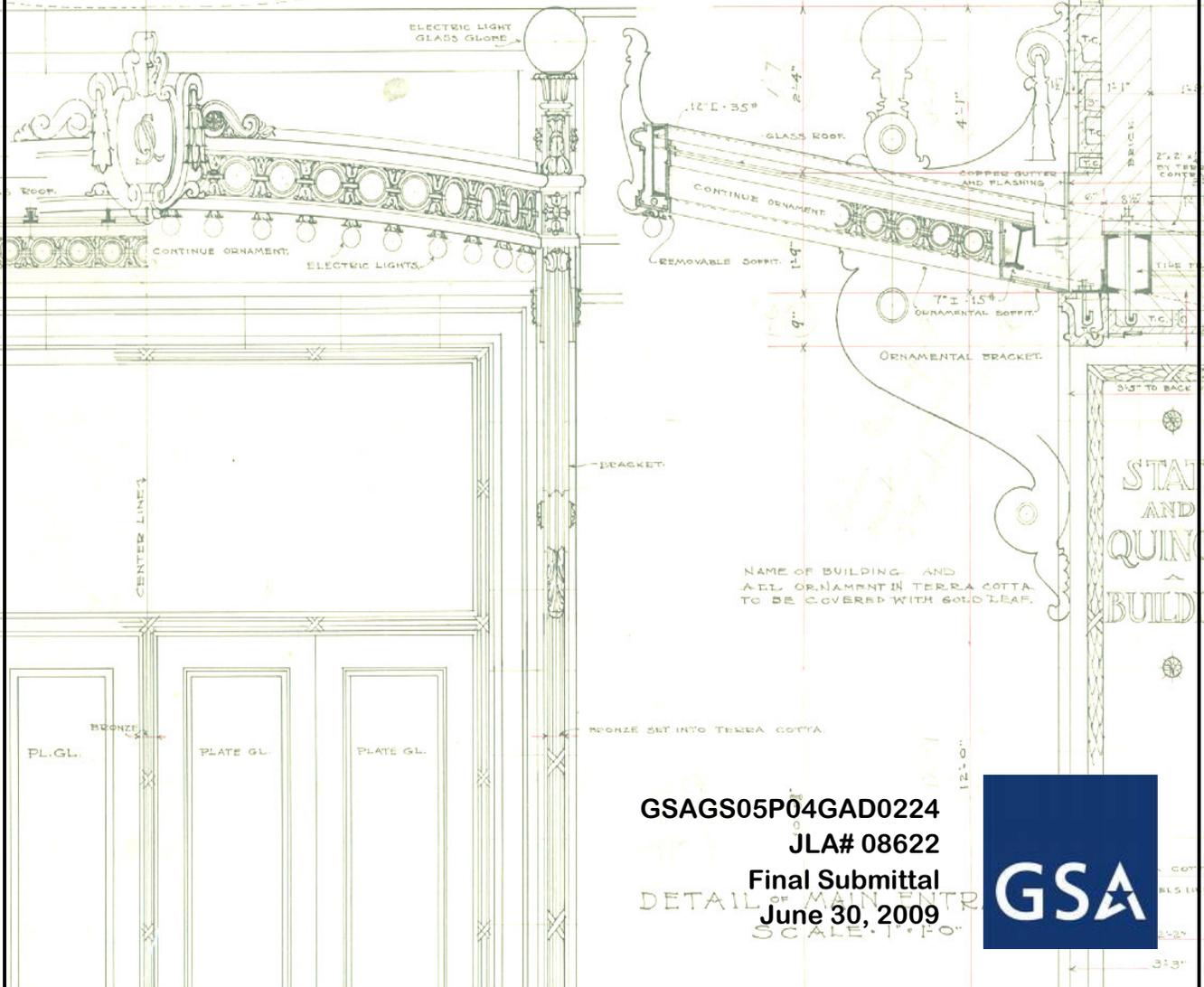




(JLA Johnson-Lasky Architects logo)

BUILDING PRESERVATION PLAN

220 South State Street
Chicago, Illinois, IL0315ZZ



GSAGS05P04GAD0224
JLA# 08622
Final Submittal
June 30, 2009



(GSA Starmark logo)

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I. HISTORY & DOCUMENTATION

A. GENERAL INFORMATION

Building ID: IL0315ZZ

Current Building Name: 220 S. State Street

Building Status: 1st floor GSA Out-leased, upper floors vacant

Historic Building Name: Consumers Building, State and Quincy Building, Quincy Building, One Quincy Court Building

Address: 220 South State Street, Chicago, Illinois

Building Type: Office Building

NR Historical Designation: Contributing Structure in a NR Historic District

UTM:

Northing: 4,636,533

Easting: 447,881

GIS:

Latitude: 41° 52' 44.4" N

Longitude: 87° 37' 41.29" W

Size:

Floor Area Total: 248,525 square feet

First Floor Area: 9600 square feet

Occupiable Area: 139,276 square feet

Dimensions:

Stories/Levels: 22 & 3 basements

Perimeter: 430 linear feet

Depth: 145 linear feet

Height: c. 291 linear feet

Length: 64 linear feet

B. HISTORY

Historic Designation

NR Historical Designation

District

Contributing: Yes

District Name: Loop Retail NR Historic District

State/Local District

District: N

State/Local Date: N/A

District

Contributing Jurisdiction: N

Jurisdiction Name: Federal

GSA Determination

Determined Eligible: "may be eligible" according to March 2006
Cultural Resources Survey

GSA Date: March 2006

Criteria: A – Commerce, and C - Architecture

Awards: N/A

General:

HSR: N

Part of Complex: N

HABS/HAER ID: N/A

Map: N

Construction History Information

Year begun: 1912

Year finished: 1913

Cost: approx. \$2 million

Description: Original Construction

Architect: Jenney, Mundie & Jensen

Style: Commercial Style

Year begun: Unknown

Year finished: Unknown

Cost: Unknown

Description: Removal of original bronze canopy over State Street
entrance

Architect: N/A

Style: N/A

Year begun: Unknown
Year finished: Unknown
Cost: Unknown
Description: Removal of original frieze band and cornice
Architect: N/A
Style: N/A

Year begun: ca. 1917?
Year finished: ca. 1917?
Cost: Unknown
Description: Removal of electric rooftop “Consumer” sign
Architect: N/A
Style: N/A

Year begun: Unknown
Year finished: Unknown
Cost: Unknown
Description: Replacement of original bronze elevator enclosures in lobby
Architect: N/A
Style: N/A

Year begun: Unknown
Year finished: Unknown
Cost: Unknown
Description: Installation of large, metal light fixtures suspended from the lobby ceiling
Architect: N/A
Style: N/A

Year begun: Unknown
Year finished: Unknown
Cost: Unknown
Description: Installation of large mirrored windows in the vestibule
Architect: N/A
Style: N/A

Year begun: 1933
Year finished: 1933
Cost: Unknown
Description: Alterations to store front
Architect: N/A
Style: N/A

Year begun: 1980
Year finished: 1980
Cost: Unknown

Description: Install new wall paneling & replace stair to mezzanine
Architect: Unknown
Style: N/A

Year begun: 1984
Year finished: 1984
Cost: Unknown
Description: Remodel existing retail unit for ice cream parlor per plans
Architect: Unknown
Style: N/A

Year begun: 1985
Year finished: 1985
Cost: Unknown
Description: Remodel existing office space on 7th floor per plan
Architect: Unknown
Style: N/A

Year begun: 1985
Year finished: 1985
Cost: Unknown
Description: Repair and alter existing tenant space at 12th fl per plan
Architect: Unknown
Style: N/A

Year begun: 1985
Year finished: 1985
Cost: Unknown
Description: Remodel existing space on 19th floor for offices per plan
Architect: Unknown
Style: N/A

Year begun: 1986
Year finished: 1986
Cost: Unknown
Description: Remodel existing space on 6th floor suite n. 612 per plan
Architect: Unknown
Style: N/A

Year begun: 1986
Year finished: 1986
Cost: Unknown
Description: Alter existing space on first floor for restaurant per plan
Architect: Unknown
Style: N/A

Year begun: 1986
Year finished: 1986
Cost: Unknown
Description: Interior alterations to restaurant and bar, 1st floor and mezzanine per plan
Architect: Unknown
Style: N/A

Year begun: 1988
Year finished: 1988
Cost: Unknown
Description: Interior remodel exterior storefront to an existing restaurant per plan
Architect: Unknown
Style: N/A

Year begun: 1989
Year finished: 1989
Cost: Unknown
Description: Remodel existing office space to new office space 2nd fl per plan
Architect: Unknown
Style: N/A

Year begun: 1989
Year finished: 1989
Cost: unknown
Description: Remodel existing office space to new office space 18th fl per plan
Architect: Unknown
Style: N/A

Year begun: 1992
Year finished: 1992
Cost: Unknown
Description: Alteration to existing corridor on 4th floor per plan
Architect: Unknown
Style: N/A

Year begun: Unknown
Year finished: Unknown
Cost: Unknown
Description: Installation of metal door and EIFS at the western end of the Quincy Court elevation
Architect: Unknown
Style: N/A

Year begun: Unknown
Year finished: Unknown
Cost: Unknown
Description: Installation of EIFS at the south end of the west elevation
Architect: N/A
Style: N/A

Year begun: late 1990s?
Year finished: late 1990s?
Cost: Unknown
Description: Installation of aluminum windows along the State Street and Quincy Court elevations
Architect: N/A
Style: N/A

Architectural Description

The 220 S. State Street Building, designed by Jenny, Mundie, & Jensen, is located at the northeast corner of State Street and Quincy court and represents the final stage of “Chicago School” design. The 21-story building features windows on all four elevations, has three basements, and a rectangular footprint with frontage of 62 ½ feet on State Street, and a depth of 144 ½ feet on Quincy. Clad in white terra cotta, the skyscraper has a steel superstructure that rests on 38 immense caissons, eight feet in diameter, driven down 120 feet to bedrock. According to a *Chicago Tribune* display advertisement placed by J.L. Kesner on 22 September 1912, it took 200 men, working day and night, two months to get the caissons into place. The building has flat wall planes with the exception of the north (side) elevation, which has a three-sided vertical window bay at its western end. The building’s southwest corner is slightly rounded. The two street elevations feature a distinctive tripartite design with base, shaft and capital separated by unadorned cornices.

The recessed, off-center main entrance on State Street, features a revolving door and two glass hinged doors that are framed in bronze and spanned by a deep transom etched with the words, “1 Quincy Court.” It is surrounded by polished granite with the words “1 Quincy Court” in metal lettering. Flanking this entry are contemporary metal storefronts. The first floor of the Quincy Street elevation features a series of large display windows and a metal door at its western end, which is covered with an exterior insulation finishing system (EIFS). A deep, black metal signboard above the two State Street storefronts turns the corner and extends the length of the Quincy Street elevation. It includes metal lettering for “Cosmo Beauty” above the State Street north storefront and for “Payless Shoe Source” above both the State Street south storefront and the Quincy Street display windows.

On both street elevations, floors two through four feature Chicago windows, comprised of one large fixed pane flanked by a double-hung window on either side: four along State Street and nine along Quincy Street. All upper floors feature paired double-hung windows, which are aluminum sash on the street elevations and steel fire windows on the north and west (rear) elevations. Unadorned cornices are situated above the first, 4th, 5th, 17th, and 20th floors. Spandrels above the second, third, 18th and 19th floor windows feature geometric motifs of a rectangle flanked by a diamond on either side. All other spandrels feature a rectangle above each window. The southern end of the rear elevation is covered with EIFS, and each floor of this elevation has a window leading to a metal fire escape.

The ornate lobby has a rectangular footprint and features terrazzo floors. Its walls and ceiling are clad in white Italian marble. A stately, curving marble stairway along the south wall near the main entrance leads to a door at the second floor level. Just west of this stairway, an arched opening leads to the basement stairway, which is covered by a marble barrel vault. Marble pilasters with either scrolled or naturalistic capitals are situated throughout this elegant space. The lobby is also graced by an abundance of original bronze fixtures, including a wall-mounted building directory, mailbox, elevator doors, wall sconces, and decorative baseboard grilles. The mailbox, directory and sconces feature fine craftsmanship and Classical detailing. Four large, square fluorescent lighting fixtures (non-historic) hang from the lobby ceiling. Two sets of double-glass doors framed in bronze and spanned by a deep transom access the vestibule and feature such ornamental detailing as fluted colonettes. The vestibule has large mirrored windows on each wall.

Physical History

Jacob L. Kesner obtained a permit to erect a 21-story skyscraper at the northwest corner of State and Quincy streets on 28 August 1911, a week before Chicago's new building law limiting the height of future skyscrapers to 200 feet was scheduled to take effect. Kesner had previously purchased the two existing buildings on the site and obtained a lease to the ground beneath them at an annual rent of \$20,000. These buildings included the five-story stone-clad Bell Clothing Store Building on the corner, and the adjacent six-story Gunther candy factory and shop on State Street, both of which were razed to make way for the new skyscraper. Contracts for the caissons and steel were let as soon as the building permit was obtained, and construction began immediately.

The architectural firm Jenney, Mundie & Jensen developed plans for the terra-cotta-clad State and Quincy Building, which was built at a cost of \$2 million, with a frontage of 62 ½ feet on State Street and 144 ½ feet on Quincy. The firm was well known to Kesner, as he had previously commissioned them to design the Lake View Building at 116 S. Michigan Avenue (1906) and the Kesner Building at 5 N. Wabash (1910). A full-page *Chicago Tribune* display advertisement placed on 22 September 1912 touted the State and Quincy Building's corner site, which allowed it to receive

outside light and air from all four sides above the sixth floor, thereby eliminating the need for an interior light court. To ensure that a future skyscraper would not be built along the north side of his new building, Kesner also purchased the adjacent six-story 214 S. State Street Building. The same 1912 advertisement included a rendering of the new skyscraper and extolled its amenities:

“The main entrance and corridor are as beautiful and dignified as any palace. There is no gaudiness or lavish display; the whole effect is made by the masterly use of white Italian marble, in combination with bronze for the canopy, fixtures, and elevator inclosures. For the interior finish in every room nothing will be used but the finest Mexican mahogany. Hard maple for the floors, and you can have it finished as you desire...

On each floor there will be long, finely proportioned halls—all that abundance of outside light multiplied many times by the white marble floors and walls. The first six floors are planned especially for small shops and salesmen’s sample rooms. Space will be divided to suit. If you want a big sample room or store, you can have an entire half floor without a column in evidence; the building is so planned. Six high speed electric cars will run at a rate of 550 feet a minute.”

Over the years, exterior alterations included the removal of a bronze canopy originally situated above the main State Street entrance and the replacement of two original storefronts along State Street with modern storefronts. The western end of the Quincy Street elevation has a non-original metal door and is covered with EIFS. EIFS also covers the south end of the rear elevation. In the past decade, new aluminum windows were installed along the State and Quincy Street elevations, which are sympathetic in appearance to the remaining original wood windows. The roofline of the building originally featured a decorative frieze band and cornice with integral light fixtures, which were removed at an unknown date. A massive round, sixty-foot-tall electric sign with the name “Consumers” was situated at the top of the building from at least 1913 to 1917 and removed at an unknown date. Lobby alterations include the replacement of original bronze elevator enclosures and the installation of large, metal light fixtures suspended from the ceiling. The large mirrored windows in the vestibule likely replaced earlier display windows used by the flanking retail operations.

The Federal Government purchased 220 S. State Street in 2005.

Integrity & Significance

Designed by the prominent firm Jenney, Mundie and Jensen, the 220 S. State Street Building was completed in 1913 and is located at the northeast corner of State Street and Quincy Street (currently “Quincy Court”). In February 1913, owner Jacob L. Kesner signed two important long-term leases, one of which was to A. Weis & Co. for the operation of a “high class” restaurant in the basement, known as the Winter Garden cabaret. Although little information exists on this restaurant, quite a bit of the establishment’s décor remains on this level. This concentrated mass of ornamentation is a significant example of high-end restaurant décor of the era. The other lease was signed by the Hilton Company, men’s clothiers and outfitters of New York City, for the building’s corner store, which featured a series of large display windows along the length of the Quincy Street façade. Hilton paid \$1,473 per front foot, which was believed to be the highest rent per front foot ever paid for State Street store space.

Referred to the “State and Quincy Building” in original plans, the building’s name was changed in March 1913 to the Consumers Building, due to a lease signed with the newly formed Consumers Company to occupy the 20th and 21st floors. The Consumers Company—formed through a recent \$11 million merger between Chicago’s principal ice and fuel companies: the Knickerbocker Ice Company and the City Fuel Company—installed a 60-foot electric sign with its name on the roof of the building. Consumers remained in the building for just four years, moving in 1917 to the Conway Building.

In 1917, the building’s tenants included a number of film companies, such as the Pathe (4th floor), Universal (15th floor), Mutual (18th floor), and Feature (4th floor). Other tenants in 1917 were the Hilton Company, clothing dealers (1st and 2nd floors), Remington Typewriter Company (3rd floor), and Silhanek Brothers Tailors (6th floor). The U.S. Government occupied the lower three floors as a labor employment bureau. In 1920, an association of motion picture theater owners called the Allied Amusements Association located on the building’s 13th floor. Other tenants from that year included the Pullman Company, Liberty Mutual Insurance Co., Carnation Milk Products Company, Integrity Mutual Insurance Co., and the Cooperative stores.

In 1931, Jacob Kesner conveyed title of the 220 S. State Street Building to his son-in-law, I.W. Kahn, who headed the Kesner Realty Trust with offices in the Kesner Building at 5 North Wabash Avenue. Two years later, during the height of the Depression, the Trust quit paying ground rent on the property. As a result, the \$2 million bond issue that Jacob Kesner had floated in 1924, about \$200,000 of which was retired, went into default. The bondholders brought foreclosure proceedings and the taxes went unpaid. Together, the rent and the taxes amounted to about \$500,000. In 1937, a circuit court judge turned the building over to the owners of its two ground leases. One parcel was owned by Mrs. Emily Osborn Bliss and Mrs. Mae Osborn Carothers, and the other by the Continental Illinois National Bank and Trust Company and the Northern Trust Company as trustees.

The 220 S. State Street Building received a new ground floor tenant in 1931, when Benson & Rixon, men's clothiers in Chicago for 45 years, rented 5,000 square feet of space. The store had a window space in the lobby, as well as State Street frontage of 45 feet and a Quincy Street frontage of 144 feet, giving it one of the largest window displays in the Loop. Tailoring workrooms were established on the second floor, with a direct elevator connection. Benson & Rixon moved in 1936 to temporary quarters in the 206-212 S. State Street Building while their new building at 230 S. State Street was under construction. Their former retail space on the first and second floors was subsequently leased to Howard Clothes, Inc., of Brooklyn, New York, as their first branch store in the Midwest. Howard reportedly embarked upon a modernization program of their new space, which included the installation of an air conditioning system. Howard remained in the building until at least 1975.

In 1947, the building was sold to the 220 S. State Street Corporation at a cost of \$2 million. The sellers were the Continental Illinois Bank and Trust Company and the Northern Trust Company as trustees, and Emily Osborn Bliss and Mae Osborn Carothers. The 220 S. State Street Corporation sold the building in 1960 to a syndicate of Chicago investors for \$2 million. The new owners reportedly planned to upgrade the building, prompted by their belief in the rejuvenation of the south end of the Loop due to the planned Federal Center directly to the west on Dearborn.

Nara Grid for 220 South State Street

The Nara Grid is a methodology to assist in understanding the many entwined layers that compose the authenticity of the built environment and architectural heritage. Dimensions of heritage are divided into several different categories related to the built environment. The resulting organization is used to evaluate the cultural significance of a given building, object, or space.

ASPECTS OF THE SOURCES RELATED TO DOCUMENTATION	DIMENSION OF HERITAGE			
	Artistic	Historic	Social	Scientific
Form & Design	Tripartite design with conservative level of exterior ornamentation. Interior common spaces highly decorative.	Building permit for this 21 story structure was awarded one week before new Chicago building law limiting height of future structures to 200 feet was to take effect.		Designed to receive outside light from all four sides above the sixth floor, eliminating the need for a lightcourt.
Materials & Substance	High levels of Italian marble, bronze, and decorative mosaic tile, Mexican mahogany and hard maple floors used on interior.			
Use & Function		Throughout its history, tenants included several prominent companies.	Excellent example of a professional office building, serving a variety of tenants.	
Tradition, Techniques, and Workmanship		Maintains good structural and exterior integrity after many years.		
Location & Setting	Designed by prominent Chicago firm Jenny, Mundie and Jensen.	Considered a contributing building in the Loop Retail National Register Historic District.	Corner lot at State and Quincy on a busy commercial thoroughfare.	
Spirit & Feeling	Conservative, stately exterior with originally exquisitely decorative interior.	Contributing to the historic setting and diversity of architectural styles of downtown Chicago, and the greater city.	Continued potential as a large mixed use office building.	

C. INSPECTIONS

Date	Firm	Address & Phone	Scope of Work	Notes
March 6, 2006	Wight	656 West Randolph Street Suite 4W Chicago, IL 60661 312.261.5700	Chicago Federal Center Phase I Cultural Resources Survey – research, surveys, and analysis of potential for cultural resources and potential for buried resources.	For 220 S State: Potentially eligible for the National Register, no archaeological potential.
Sept. 2007	Unknown		Recommended Fire Protection & Life Safety Improvements for 220 S. State	Building found uninhabitable/unmarketable due to significant fire Protection/life safety/safety deficiencies.
August 22, 2006 Versar, Inc.	100 West 22 nd St. Suite 151	Lombard, IL 60148	Asbestos and Lead-Based Paint Survey	Asbestos-containing materials and lead-based paint found in several areas. Federal regulations & standards must be followed for abatement prior to future renovation and/or demolition.
Sept. 18, 2006 Versar, Inc.	100 West 22 nd St. Suite 151	Lombard, IL 60148	Phase I Environmental Site Assessment	No recognized environmental conditions (REC's) were found in connection with the property. Asbestos-containing materials and lead-based paint found in several areas.

D. SOURCES USED

Primary and Unpublished Sources

City of Chicago building permit no. S32658, dated 28 Aug. 1911.

Building permit no. 29312, dated 20 June 1927 (alt)

- _____ no. 52390, dated 18 March 1929 (balcony for 218 S. State)
- _____ no. 88232, dated 19 May 1934 (alterations to storefront for 216 S. State)
- _____ no. 87533, dated 11 April 1934 (alterations to storefront for 218 S. State)
- _____ no. 83496, dated 18 Feb. 1933 (alterations to storefront for 220 S. State)
- _____ no. 92479, dated 5 April 1935 (interior alterations for 220 S. State)
- _____ no. 115642, dated 27 June 1939 (alterations for 218 S. State)
- _____ no. 99177, dated 15 June 1936 (int alterations for 220 S. State)
- _____ no. 133403, dated 8 Jan. 1943 (alt 2nd fl. Bldg for 220 S. State)
- _____ no. A40371, dated 6 April 1950 (four lavatories)
- _____ no. 589213, dated 10 Oct. 1980 (install new wall paneling & replace stair to mezzanine)
- _____ no. 639873, dated 3 May 1984 (remodel existing retail unit for ice cream parlor per plans)
- _____ no. 655945, dated 9 July 1985 (remodel existing office space on 7th fl per plan)
- _____ no. 662180, dated 13 Dec. 1985 (repairs and alter existing tenant space at 12 fl per plan)
- _____ no. 660774, dated 31 Oct. 1985 (remodel existing space on 19th floor for offices per approved plan)
- _____ no. 662940, dated 24 Jan. 1986 (remodel existing space on 6th fl suite #612 per plan)
- _____ no. (?)66701, dated 12 May 1986 (alter existing space on 1st floor for restaurant per plan)
- _____ no. 675300, dated 12 Dec. 1986 (interior alterations to restaurant & bar 1st fl and mezzanine as per plan)
- _____ no. 704317, dated 22 Nov. 1988 (interior remodel, exterior storefront to an exist'g restaurant per plan)
- _____ no. 706628, dated 2 Feb. 1989 (remodel existing office space to new office space 2nd fl per plan)
- _____ no. 706637, dated 3 Feb. 1989 (remodel existing office space to new office space 18th fl per plan)
- _____ no. 752789, dated 28 April 1992 (alteration to existing corridor on 4th fl per plan)

Chicago History Museum Ready Print Photos: ICHI – 19907: State Street ca. 1915 looking north from Quincy Court. (Shows the Consumers Building with electric sign on the roof.)

ICHI – 21054: Consumer Building – State and Quincy (Undated photo of the Consumers Building as it appeared shortly after completion.)

Chicago History Museum – Misc. Pamphlets – Consumers Building. Call no. F38HG C67z.

(Two-page brochure printed by G.R. Bailey & Co., Real Estate Agents, 1959. Includes exterior photo of Consumer Building looking northwest and plans of floors six through eight.)

Robinson's Atlas of the City of Chicago, Vol. One. NY: E. Robinson, 1886.

Sanborn Fire Insurance Map, Volume One, South Division. NY: Sanborn Fire Insurance Company, 1906 (rev. 1950).

Tatum, Raymond Terry. National Register of Historic Places nomination for The Loop Retail Historic District, 1998.

Published and Secondary Sources

“Benson & Rixon Close State Street Lease For \$1,000,000,” *Chicago Tribune*, 5 April 1931.

“Benson-Rixon Leases State Street Store,” *Chicago Tribune*, 31 May 1936.

“Bondholders Lose Building By Court Rule,” *Chicago Tribune*, 18 Dec. 1937.

Chase, Al, “Wabash Avenue May Have New Winter Garden” *Chicago Tribune*, 1 Dec. 1920.

_____, “Bond Issue of Consumers to be Refinanced,” *Chicago Tribune*, 11 July 1932.

_____, “Men’s Clothing Chain To Open Chicago Store,” *Chicago Tribune*, 2 June 1936.

City of Chicago Directory: 1950 Criss-Cross. Chicago: Chicago Cross Reference Association, 1950. (Includes a ca. 1950 full-page advertisement for, and photo of, the Consumers Building.)

“Combine to War on Consumers Co.,” *Chicago Tribune*, 28 May 1914.

“Consumers Co. Building Name,” *Chicago Tribune*, 22 March 1913.

“Consumers Co. Moves Offices,” *Chicago Tribune*, 30 July 1917.

“Electric Sign Trap For Birds,” *Chicago Tribune*, 23 May 1915.

“Field Estate Buys 29 Feet In State Street,” *Chicago Tribune*, 8 Feb. 1916.

“Fire in the ‘Bell’,” *Chicago Tribune*, 27 March 1995.

“465 Leases Signed in the Consumers Building,” *Chicago Tribune*, 7 Nov. 1920.

Gavin, James M., “3 Chicagoans Buy 22 Story Loop Building: Pay 2 Millions for Consumers,” *Chicago Tribune*, 12 April 1960.

Gilbert, Paul T. *Chicago and its Makers.* Chicago: F. Mendelsohn, 1929, p. 331.

(Streetscape photo of the 200 block of South State Street, west side, looking north from Quincy, in 1889. This view shows the two five- and six-story commercial buildings that preceded the Consumers Building on its site.)

“Gunther Sells Candy Plant: Jacob L. Kesner Purchaser,” *Chicago Tribune*, 22 May 1909.

Hewitt, Oscar, “Office Fittings To Be Assessed on Rental Basis,” *Chicago Tribune*, 26 Aug. 1932.

“Issue 3 Permits for Skyscrapers,” *Chicago Tribune*, 29 Aug. 1911.

“Jacob L. Kesner Buys Van Buren Street Parcel,” *Chicago Tribune*, 12 Feb. 1930.

“J.L. Kesner, 86, Real Estate Operator, Dies,” *Chicago Tribune*, 21 April 1952.

“Labor Blamed for \$750,000 Loop Fire,” *Chicago Tribune*, 2 July 1917.
“Large Deals Are Lacking In Week Realty Trades,” *Chicago Tribune*, 24 Feb. 1918.
“Leases and Loans,” *Chicago Tribune*, 9 Feb. 1913.
Marquis, A.N. *Who’s Who in Chicago*. Chicago: The A.N. Marquis Co., 1917.
“Movie Machine Operators Ask \$1.25 An Hour,” *Chicago Tribune*, 1 Jan. 1920.
“New Permit To Kesner,” *Chicago Tribune*, 1 Sept. 1911.
“Outline Combined of Ice and Fuel: Details of Consolidation in \$11,000,000 ‘Consumer Company’ Announced,” *Chicago Tribune*, 10 Jan. 1913.
“Pay Record Rent In State Street,” *Chicago Tribune*, 15 Feb. 1913.
Polk’s Chicago Street Directory, 1928-1929. Chicago: R.L. Polk & Co., 1929.
Randall, Frank A. *History of the Development of Building Construction in Chicago* (Second Edition). Urbana: University of Illinois Press, 1999.
“Realty Miscellany,” *Chicago Tribune*, 26 Jan. 1947.
“The State and Quincy Building,” *Chicago Tribune*, 22 Sept. 1912. (Includes drawing of the exterior of the building, looking northwest.)
“Trap 2 in Lift of Skyscraper As Fur Thieves,” *Chicago Tribune*, 9 March 1920.
“21 Story Consumers Building Is Sold for 2 Millions Cash,” *Chicago Tribune*, 19 Jan. 1947.
“U.S. Artillery School Seeks More Students,” *Chicago Tribune*, 5 Aug. 1918.

II. ANALYSIS & TREATMENT

A. INVENTORY OF SPACES

Zone: 1A – Restoration

Exterior

Space Type: 1913 ELEVATIONS (N, E, S)

Description

The 220 S. State Street Building is located at the northeast corner of State Street and Quincy Court. The east elevation faces State Street, the south elevation faces Quincy Court, and the north elevation's lower floors are obscured by the adjacent six-story building. It has a rectangular footprint on a deep lot with a frontage of 62 ½ feet on State Street and a depth of 144 ½ feet on Quincy. The 21-story building has flat wall planes with the exception of the north elevation, which has a three-sided vertical window bay at its western end. The building's southwest corner is slightly rounded, and its east and south elevations feature a distinctive tripartite design with base, shaft and capital separated by unadorned cornices.

The recessed, off-center main entrance on State Street is flanked by a non-original storefront on either side. This entrance features a revolving door and two glass hinged doors that are framed in bronze and spanned by a deep transom etched with the words, "1 Quincy Court." These doors are not of the original design (two sets of wooden double-doors), but the bronze framing is of the original design and configuration. This entry is surrounded by polished granite with the words "1 Quincy Court" in metal lettering. The first floor of the Quincy Street elevation features a modern storefront and a metal door at its western end, which is covered with EIFS. A deep, black metal signboard above the two State Street storefronts turns the corner and extends the length of the Quincy Street elevation. It includes metal lettering for "Cosmo Beauty" above the State Street north storefront and for "Payless Shoe Source" above both the State Street south storefront and the Quincy Street display windows.

On both street elevations, floors two through four feature Chicago windows, comprised of one large fixed pane flanked by a double-hung window on either side: four along State Street and nine along Quincy Street. All upper floors feature paired double-hung windows, which are non-original aluminum sash on the street elevations and wood sash on the north and west (rear) elevations. Unadorned cornices are situated above the first, 4th, 5th, 17th, and 20th floors. Spandrels above the second, third, 18th and 19th floor windows feature geometric motifs of a rectangle flanked by a diamond on either side. All other spandrels feature a rectangle above each window.

Generally, each façade is in fair condition and retains much of its original material. Exterior alterations included the removal of a bronze canopy originally situated above the main State Street entrance and the replacement of two original storefronts along State Street with modern storefronts. The western end of the Quincy Street elevation has a

non-original metal door and is covered with EIFS. In the past decade, new aluminum windows were installed along the State and Quincy Court elevations, which are sympathetic in appearance to the original wood windows. Brick and terra cotta repair/replacement, at varying levels of success, is evident in many places over each façade. Current issues include improper repair of failing terra cotta, poor substitution of glazed brick for terra cotta, mortar patches that are unsightly and doomed to fail, stresses in terra cotta due to anchor failure and stresses in the wall, delamination of terra cotta units due to stresses in lintels, crazing of glazed finish, and general anchor failure. See “III.C. Maintenance Photos” for illustrated examples. Insensitive replacement of windows (filling in with brick) has occurred in several places. The roofline of the building originally featured a decorative frieze band and cornice, which were removed at an unknown date. A massive round, sixty-foot-tall electric sign with the name “Consumers” was situated at the top of the building from at least 1913 to 1917 and removed at an unknown date.

Recommendations

Further analysis of the condition of all facades should be conducted and a critical examination report prepared. North, east, and south facades should be preserved and repaired as necessary. Original cornice should be reconstructed using a lighter material and to meet codes. “Consumers Building” sign on north elevation should be preserved and repaired. Original storefronts, main entry, and canopy should be restored to their original appearance (ADA-dependent). A detailed study on egress routes should be conducted before major changes are made to building entrances. The floor plate with central core remains serviceable as a stand-alone structure.

With the deep setback of the Dirksen building to west and the Federal Government’s ownership and potential redevelopment of the building to the north, an opportunity exists to replace the fire windows on the north and west elevations of 220 S. State. If codes permit, these windows should be replaced with double glazed aluminum windows similar to those on the south and east facades to increase energy efficiency.

Zone: 1B – Restoration**Interior****Space Type: 1913 ENTRY & LOBBY, 1ST FLOOR****Description**

The highly-ornamented lobby has a rectangular footprint and features terrazzo floors. Its walls and ceiling are clad in white Italian marble. Marble pilasters with either scrolled or naturalistic capitals are situated throughout this elegant space. The lobby is also graced by an abundance of original bronze fixtures, including a wall-mounted building directory, mailbox, wall sconces, and decorative baseboard grilles. The mailbox, directory and sconces feature fine craftsmanship and Classical detailing. Four large, square fluorescent lighting fixtures hang from the lobby ceiling. Two sets of double-glass doors framed in bronze and spanned by a deep transom access the vestibule and feature such ornamental detailing as fluted colonettes. The vestibule has large mirrored windows on each wall.

Lobby alterations include the replacement of original bronze elevator enclosures and the installation of large, metal light fixtures suspended from the ceiling. The large mirrored windows in the vestibule likely replaced earlier display windows used by the flanking retail operations. Other than these changes, the lobby retains a high level of historic integrity.

Electrical:

Branch circuit panels, conduit and wiring are in fair condition throughout the zone but appear to be near the end of their useful life. The fire alarm system configuration does not meet current high rise fire alarm system requirements.

Structural:

The building superstructure consists of steel columns and beams, connected by rivets. Lateral loads are resisted by wind bracing girders located on column lines. The bracing girders include triangular gusset plates either below, or above and below, the beams where they connect to the supporting columns.

A clay tile arch structural floor system was typically used throughout the building for the first floor and above. The system consists of a topping slab and clay tile infill between steel floor beams, with tension rods spaced along the span to resist the resulting thrust from the arch.

Recommendations

Remaining original material should be retained. This includes the marble cladding, terrazzo floor, wall sconces, mailbox, directory, elevator floor indicator, decorative grillwork, vestibule doors and frame. Large modern light fixtures and cove lighting should be removed. Replacement lighting should be scaled properly and be compatible with the historic character of the space. Any other changes necessary by code should also be sympathetic to the building's historic character.

Electrical:

The electrical systems should be replaced in their entirety. Correct electrical deficiencies.

Structural:

Isolated floor areas may require repair if it is determined that the clay tile has been damaged.

Zone: 1C – Restoration

Interior

Space Type: 1913 EAST AND WEST STAIRS

Description

A stately, curving marble stairway along the south wall near the main lobby entrance leads to a door at the second floor level. Just west of this stairway, an arched opening leads to the basement stairway, which is covered by a marble barrel vault.

Past the second level, the marble treads and wainscot continue while risers and balustrades have become highly decorative cast iron and the railing wood. It appears that landings above the 2nd floor were originally of mosaic tile, matching that in the Basement and West Stair. Only on the 22nd floor is the tile still exposed. On all other floors, landings have been carpeted over.

The West Stair, while serving a more utilitarian purpose, is still clad in ornate materials, similar to the East Stair. Most levels contain marble treads (slate on the top few levels), wainscoting is of marble, risers, balustrades and railings are iron (although less ornamental than in the East Stair), and decorative tile floor remains on all landings. This stair is not code compliant in width. Windows in this stairwell access the exterior fire escape on the west façade.

Electrical:

Lighting systems within the stairs are minimal.

Recommendations

Both sets of stairs are in good condition with most original materials intact. Carpet should be removed from the landings of the East Stair and tiles (or marble) repaired/restored. All historic materials should be preserved and repaired where needed.

If code permits, the transition between the open staircase on the first floor and the east stair should be redesigned to be more graceful and respectful of the original building material. This may be achieved by moving the face of the new drywall back (southwards) from the face of the marble balustrade.

While neither stair is of a spatial design that meets modern code requirements for new construction (including width and landing design), it is not required that existing stairs within this historic building be greatly altered for compliance. Therefore, it is recommended that both stairs will be maintained and used by tenants. Repairs to existing materials should be made in kind. Creation of an additional interior stair that is code compliant may be considered, but is not a primary recommendation in this report.

Electrical:

Provide new normal and emergency lighting systems.

Zone: 1D – Restoration**Interior****Space Type: 1928 SOUTHEAST OFFICES AND MAIN CORRIDOR, 20TH FLOOR****Description**

The southeast corner office suite of the 20th floor contains a mix of original and 1928 elements. Maple parquet floors with decorative borders, mahogany partition walls and wall cladding, storefront partition walls of wood and textured translucent glass, detailed wood and glass doors, decorative wood moulding and window trim, and built in wood benches/registers all contribute to an overall design cohesiveness between the two periods. From 1928 remodeling drawings, it appears that the new elements were designed to comply with the original character of the space. Like the lobby, this group of rooms is densely packed with ornate elements that remain a testament to the historic character of the building.

The 20th floor corridor contains several historic elements found in the main corridor of other floors.

Electrical:

Branch circuit panels, conduit and wiring are in fair condition throughout the zone but appear to be near the end of their useful life. The fire alarm system configuration does not meet current high rise fire alarm system requirements.

Structural:

The building superstructure consists of steel columns and beams, connected by rivets. Lateral loads are resisted by wind bracing girders located on column lines. The bracing girders include triangular gusset plates either below, or above and below, the beams where they connect to the supporting columns.

A clay tile arch structural floor systems was typically used throughout the building for the first floor and above. The system consists of a topping slab and clay tile infill between steel floor beams with tension rods spaced along the span to resist the resulting thrust from the arch.

Recommendations

A mix of original and 1928 elements exist in this group of spaces. Existing mahogany and glass partition walls, doors, and maple parquet floors should be repaired where necessary and preserved. While it is not necessary to retain registers within the remaining bench within the southeast corner office, the bench itself (including the grill) should be retained and refinished. Where the second bench was once located, along the south wall, the floor and wall are in need of cleaning and repair. Electrical and phone outlets and wiring currently attached to the exterior of the mahogany partition walls and

wall cladding should be removed and replaced with a concealed system (e.g. within the wall panels).

Many wardrobe and lavatory enclosures exist within this building and it is recommended that at least one be retained for historic documentation. Retention of others should also be considered for their historical and functional merits. Because this office suite is quite filled with other historical material of high levels of integrity, it is recommended that the wardrobe and lavatory enclosure within this suite be chosen as the representative example of this building component.

Because of its proximity to the well-maintained historic office suite, the 20th floor corridor should be restored to its original form in conjunction with the southeast office suite as another example of the original building design. Concealed historic material, such as the original ceiling and storefront, should be uncovered. Current flooring should be removed mosaic tile restored. Marble cladding and original doors should be preserved. 1928 drawings and existing storefronts on floors 4, 13, and 14 may be used to guide this reconstruction.

Electrical:

The electrical systems should be replaced in their entirety. Correct electrical deficiencies.

Structural:

Isolated floor areas may require repair if it is determined that the clay tile has been damaged.

Zone: 2A – Rehabilitation

Interior

Space Type: MAIN CORRIDOR, 2ND-19TH AND 21ST FLOORS

Description

While no single corridor retains full historic material and character, these spaces contain several historic elements, many which have been replaced or concealed by modern remodeling projects. Original marble columns, wainscoting, and thresholds remain on along the corridor of several floors. An original glass and wood storefront on the 4th floor remains in good condition while on several other floors storefronts remain in various states of concealment. Original fire hose closets, still equipped, are found at the west end of the corridor on all floors. Finally, many original doors with inset mail slots remain along the corridor of most floors. Original ceramic mosaic floors may also be concealed under current carpeting.

Electrical:

Branch circuit panels, risers, conduit and wiring are in fair condition throughout the zone but appear to be near the end of their useful life. The fire alarm system configuration does not meet current high rise fire alarm system requirements.

Structural:

The building superstructure consists of steel columns and beams, connected by rivets. Lateral loads are resisted by wind bracing girders located on column lines. The bracing girders include triangular gusset plates either below, or above and below, the beams where they connect to the supporting columns.

A clay tile arch structural floor systems was typically used throughout the building for the first floor and above. The system consists of a topping slab and clay tile infill between steel floor beams with tension rods spaced along the span to resist the resulting thrust from the arch.

Recommendations

Historic material in this zone should be preserved in place. This includes marble cladding and thresholds, original office doors, and remaining storefronts. If removal is necessary for future renovations, these elements should be salvaged for reuse elsewhere. Future renovations should consider uncovering and restoring concealed historic elements. This includes marble cladding, storefront material, and original plaster ceilings. No single corridor retains sufficient historic material to act as a template for corridor restoration. Because part of the 20th floor is designated as a restoration zone, this corridor will be restored as an example of the original corridor design.

Electrical:

The electrical systems should be replaced in their entirety. Correct electrical deficiencies.

Structural:

Isolated floor areas may require repair if it is determined that the clay tile has been damaged.

Zone: 2B – Rehabilitation**Interior****Space Type: 1913 WINTER GARDEN CABARET DECOR, 1ST BASEMENT****Description**

This floor contains both areas of dense decorative elements and individual historic elements scattered throughout the floor. These are likely attributed to the 1913 design of a “high class” restaurant in the basement, known as the Winter Garden cabaret and owned by A. Weis & Co. The isolation of historic elements has been exacerbated by the current utilitarian nature of this level. This floor has been used as storage and mechanical for several years. Large rooms have been divided into several smaller areas with crudely constructed partition walls, leaving little to decipher the original layout.

A combination of ornamental plasterwork and mirrors cover the northern wall of what is assumed to have once been a large space open to the elevator lobby. The elevator lobby wall, now covered by drywall, still contains plaster and wood décor that matches that on the previously described north wall. Plaster décor also remains on the ceiling throughout the space north of the elevators (most covered by dropped ceiling) and in several disconnected areas on walls and columns. In the northeast corner of this floor, a statue niche, sans statue, is recessed into one wall. Several highly decorative light fixtures are mounted to the ceiling in the area north of the elevators. Bringing many of these disconnected elements together is the original tile mosaic floor (matching that in the staircases) that covers much floor.

Mechanical:

The vaulted area below the sidewalk in the 1st basement houses two packaged central air systems serving the first floor tenants, and one water cooled self-contained unit serving the lobby. The systems are equipped with exhaust-return fans supply, return, outdoor, and exhaust air ductwork. The units are in poor condition. Gas service enters the building at the northeast corner of the 1st basement.

Electrical:

Electric service in 1B is rated 208Y/120V 3 phase 4 wire 4,000A. Service originates from the underground utility network system. Service switchboard has fusible main switch and circuit breaker distribution. Based on its age and condition, the service switchboard appears to be near the end of its useful life. Branch circuit panels, risers, conduit and wiring are in fair condition throughout the zone but also appear to be near the end of their useful life. The fire alarm system configuration does not meet current high rise fire alarm system requirements. The emergency electrical system consists of two utility feeds to an automatic transfer switch serving exit signs and egress lighting. This does not meet current electrical code requirements. The electrical systems should be replaced in their entirety.

Structural:

The building substructure consists of concrete caissons below grade which appear to extend up through the basement floors to near the 1st basement level at the perimeter. Between the caissons are reinforced concrete walls. The basement and sub-basement floors consist of reinforced concrete slabs combined with concrete encased steel beams. Severe corrosion of the slab reinforcing steel can be observed at the underside of the first basement floor slab in the northwest corner of the building.

Recommendations

These spaces have high levels of historic decoration, but have been damaged and divided for utilitarian purposes. It is recommended that all existing historic ornament be preserved. Elevators should be uncovered and original plaster and wood ornament restored and repaired. An open elevator lobby should be recreated by removing the existing wall that separates the elevator core and the highly decorated north wall (see Preservation Zoning drawing). Mosaic tile floor and damaged ornamentation within this area should be repaired. Peripheral areas with decorative ornament need not change, except to preserve what is there. Changes in these areas must not harm this historic material. The decorative ceiling mounted light fixture may be relocated to a more prominent position, such as the elevator lobby on this level.

Mechanical:

The mechanical systems serving the lobby and the Level 1 tenants are in poor condition and should be replaced.

Electrical:

The electrical systems should be replaced in their entirety. Correct electrical deficiencies.

Structural:

Deteriorated slabs should be evaluated to determine existing structural capacity versus existing demand. Temporary shoring may be required until a permanent repair can be made.

Zone: 4A – Free

Exterior

Space Type: WEST FACADE

Description

The west façade is covered in terra cotta block except for the southern end on the first floor, which is covered with EIFS. Each floor of this elevation has window accesses to a metal fire escape. A large electric riser runs up the center of this façade. Except for the original cladding material, the utilitarian façade is devoid of historically important elements.

Recommendations

Cladding should be preserved. Replace windows with aluminum windows similar to those used on the south and east elevations. Remove electrical conduits and run inside the building. Other renovations will not disturb the historic character of this generally non-public facade.

Existing fire escape should be removed and may be replaced with new code compliant fire stair if necessary.

Zone: 4B – Free

Interior

Space Type: TENANT AREAS 1ST TO 21ST FLOORS (EXCEPT AREAS OTHERWISE NOTED, INCLUDING ELEVATOR CABS)

Description

Most tenant spaces have been altered beyond recognition of original fabric. Few historic elements exist including millwork, doors, a few original partition walls (13th floor, east office space), and lavatory closets. Restrooms contain many historic elements, including plumbing fixtures and marble stalls. Unfortunately, many of these restrooms are awkwardly designed and not code compliant.

Mechanical:

Air cooled DX self-contained units ranging from 10-15 tons are located on the 8th, 9th, 11th, 12th, 14th, 15th, 16th, 17th, and 18th floors to provide ventilation and cooling for various tenants. Smaller split systems ranging from 1-1/2 to 4 tons consisting of air-cooled condensing units (mounted outdoors or at exterior windows) and indoor fan coils/air handling units serve various condominium and commercial tenants on the 16th, 19th and 21st floors. Steam heating is distributed throughout the building and heat is provided via perimeter steam fin tube and radiators.

Electrical:

Branch circuit conduit and wiring are in fair condition throughout the zone but appear to be near the end of their useful life. The fire alarm system configuration does not meet current high rise fire alarm system requirements.

Structural:

The building superstructure consists of steel columns and beams, connected by rivets. Lateral loads are resisted by wind bracing girders located on column lines. The bracing girders include triangular gusset plates either below, or above and below, the beams where they connect to the supporting columns.

A clay tile arch structural floor systems was typically used throughout the building for the first floor and above. The system consists of a topping slab and clay tile infill between steel floor beams with tension rods spaced along the span to resist the resulting thrust from the arch.

Recommendations

Historic millwork & doors should be preserved or retained and reused in other areas of the building. One or more lavatory closets should be preserved within the building as an example of those that commonly existed within the office/tenant spaces. Restrooms should be redesigned to meet codes while reusing historic material where possible. All other reuse or renovation of these spaces will not significantly disturb the historic fabric of the building.

Mechanical:

With exception of two newer 10-ton air cooled DX self-contained systems installed on the 9th floor, the existing self-contained units have served their useful lives and should be replaced. The existing steam heating distribution has served beyond its useful life and should be replaced in its entirety.

Electrical:

The electrical systems should be replaced in their entirety. Correct electrical deficiencies.

Structural:

Isolated floor areas may require repair if it is determined that the clay tile has been damaged.

**Zone: 4C – Free
Interior
Space Type: 22ND FLOOR, ROOF & PENTHOUSE**

Description

These spaces are mostly for mechanical and utilitarian purposes and are void of any exceptional historic materials or qualities.

Mechanical:

The central building toilet exhaust system is located in the penthouse.

Electrical:

Branch circuit panels, conduit and wiring are in fair condition throughout the zone but appear to be near the end of their useful life. The fire alarm system configuration does not meet current high rise fire alarm system requirements. The electrical distribution system associated with the DC elevators appears relatively new.

Plumbing

In the penthouse there are two large steel domestic water tanks which serve the domestic water needs and the fire protection stand pipe systems.

Structural:

The building superstructure consists of steel columns and beams, connected by rivets. Lateral loads are resisted by wind bracing girders located on column lines. The bracing girders include triangular gusset plates either below, or above and below, the beams where they connect to the supporting columns.

A clay tile arch structural floor systems was typically used throughout the building for the first floor and above. The system consists of a topping slab and clay tile infill between steel floor beams with tension rods spaced along the span to resist the resulting thrust from the arch. At the roof and penthouse levels concrete encased beams and reinforced concrete slabs were also utilized in addition to the clay tile arch.

Recommendations

These areas may be renovated without disturbing the historic fabric of the building. Additions to the roof or penthouse should not be seen from street level to the north, east, or south.

Mechanical:

The central building toilet exhaust system has served beyond its useful life and should be replaced.

Electrical:

The electrical systems should be replaced in their entirety. Correct electrical deficiencies.

Plumbing

It is recommended that a new domestic booster system be installed and the two large steel domestic water tanks be abandoned.

Structural:

Isolated floor areas may require repair if it is determined that the clay tile has been damaged.

**Zone: 4D – Free
Interior
Space Type: 2ND & 3RD BASEMENTS**

Description

These two floors are completely utilitarian. No exceptional historic material could be found.

Mechanical:

Four gas-fired boilers (90hp, 3,766,000 Btuh input, 80% efficient) are installed in the 3rd basement. The boilers are 80% efficient and produce 15psi steam for heating the building. The boilers are operable, but were installed in 1986, are in poor condition and have served their useful lives. There is a condensate return tank, duplex boiler feed pumps, and duplex vacuum tank and pumps. The return and feed systems are operable and of the same vintage as the boilers. The boiler flues combine into a common header which rises up the building to the roof in a shaft alongside the original abandoned flue in the southwest corner of the building. The flues are in poor condition and lack proper insulation. There are abandoned fans, air handlers, pumps, and a shell-and-tube heat exchanger or chiller in the 2nd basement south mechanical room. Much of this equipment has been partially demolished and may be original to the building or at least installed prior to the 1940s.

Electrical:

Electric service in 2B is rated 480Y/277V 3 phase 4 wire 2,000A. Service originates from the adjacent utility vault. Service switchboard has fusible switch construction and appears to be in good condition. Branch circuit panels, risers, conduit and wiring are in fair condition throughout the zone. The fire alarm system configuration does not meet current high rise fire alarm system requirements.

Plumbing

In the lower basement there is a sewage ejector consisting of a duplex set of Weil Pump Company submersible pumps. The sewage ejector collects both sanitary and sub-surface ground water from the building's drain tile. These are most likely a replacement set of pumps from the original. There are two Raypak domestic gas fired water heaters and a storage tank, which serve the domestic hot water needs of the building.

In the upper basement the incoming water service enters the building alongside the storm and sanitary services that exit the building. There also appears to be an old water service which has long been abandoned. The incoming water service comes into the building from the south. The piping and valves appear to be in very poor condition. The shut off valve is extremely rusted and most likely non-functioning. The incoming water service then feeds the domestic booster pump. The domestic water booster pumps consist of electric fill pumps for the water tanks located in the penthouse. The existing pumps are old and are replacement pumps for the original steam powered fill pumps.

Structural:

The building substructure consists of concrete caissons below grade which appear to extend up through the basement floors to near the 1st basement level at the perimeter. Between the caissons are reinforced concrete walls. The basement and sub-basement floors consist of reinforced concrete slabs combined with concrete encased steel beams. Corrosion of the slab reinforcing is more severe at the 2nd basement floor framing than at the 1st basement. Areas of significant corrosion can be found along the North and East sides of the building.

At the basement slab on grade, existing pits between column lines C and D have been covered with wood planking which has since rotted and collapsed. Signs of water infiltration are apparent at multiple locations on the North, East, and West faces of the building. Signs include standing water, staining, and growth of mold/fungus.

Recommendations

Renovation and reuse is recommended for these spaces. Alterations may be required to bring up to code.

Mechanical:

The central heating equipment serving the building is inefficient and has served its useful life. Piping and flue insulation is inadequate. Piping is longer serviceable and should be replaced.

Electrical:

Correct electrical deficiencies.

Plumbing

The sewage ejectors should be serviced and evaluated for longevity. The water heaters look fine but should be serviced and evaluated for longevity. The domestic storage tank needs to be replaced and there is a new storage tank in the basement waiting to be installed. The water booster pumps are old, have probably outlived their life expectancy, and should be replaced.

Structural:

Deteriorated slabs should be evaluated to determine existing structural capacity versus existing demand. Temporary shoring may be required until a permanent repair can be made. Additionally, efforts should be made to limit water infiltration into the building to slow the process of deterioration. The unused pits in the basement should be infilled, covered with a new structure, or blocked by a handrail/guardrail system.

B. SYSTEMS AND CODE COMPLIANCE

Egress

The original doorway between the west end of the lobby and west exit has been blocked off. This passageway should be reopened and made code compliant. The existing narrow passage on each side of the revolving door does not meet ADA entrance requirements.

Accessibility

Elevators should be in working order to access upper levels if occupied. All restrooms should be remodeled to meet accessibility codes.

Mechanical

The existing central heating systems are not in compliance with Public Building Services Standard P-100. Piping and flues lack code required insulation. Tenant floors lack systems compliant with energy code.

Louvers under fire escape may not be protected by fire dampers.

Electrical

Existing building electrical systems do not comply with current code requirements and Public Building Services' Standard.

Plumbing

The water service currently runs through an electrical room after the meter, which doesn't comply with code. From the domestic penthouse tank the domestic water is downfed to a water distribution system of numerous wet columns. Most of the piping appears to be galvanized steel and cast iron piping. Some PVC and copper repair piping was installed. Copper water piping was also used for tenant development. Due to the age of the plumbing piping it is recommended that all of the piping be replaced. Plumbing fixtures are a mixture of old and new, but do not appear to comply with current plumbing and handicapped code and regulations.

Fire Protection

Fire protection consists of the following:

1. Fire protection systems are not active.
2. The existing building is classified in the Chicago Building Code (CBC) as "High-Rise" with an occupancy classification of Class "E" Business.
3. A Class III standpipe system is installed throughout the building.
4. A make-up pump is located in the basement. This pump supplies the fire protection water storage tank.
5. The water storage tank is located in the penthouse and is abandoned. This was a down-feed system for the standpipe system.
6. A fire pump is located in the basement and is abandoned.
7. The existing high-rise building is not fully sprinklered.

Asbestos and Lead Abatement

According to the Phase I Environmental Site Assessment for this property, asbestos-containing materials (ACMs) and lead-based paint were found in several areas. Additional investigation should be conducted and all friable ACM (asbestos containing materials) must be removed before renovation or demolition. Lead-based paint “hazards” must also be managed following OSHA Lead in Construction Standard (29 CFR 1926.62). Details on the conclusions and recommendations of this report should be reviewed prior to any demolition or renovation work at this property.

C. Inventory of Elements

Note: The following tables contain quantity and pricing figures for each listed preservation item. This information composes the first portion of the preservation plan cost estimate, placed here due to its strict correspondence to the “Inventory of Elements.” The second part of the cost estimate, located within this appendix, addresses the additional costs associated with renovating the remaining parts of the building. These are furnished in a cost per square foot format. By adding these two sets of cost together, a total cost for renovation can be derived.

BPP ELEMENT INVENTORY FORM

Date: 6/30/2009

Building Name: 220 S. State St.

Preservation Zone: 1A - 1913 ELEVATIONS (N, E, S)

Item #	Location	Assembly	Element	Material	Unit	QTY	Dimensions	Description
1	Exterior	Wall	Surface	Terra Cotta	SF TO BE REPAIRED/REPLACED	5558		Generally, terra cotta is in fair to poor condition. Many repairs have been made using smaller terra cotta units. "Consumers Building" sign constructed of green terra cotta units is located at top of north façade.
2	Exterior	Wall	Ornament	Terra Cotta	SF	2821		The original decorative cornice missing. This architectural feature was a very important part of the building's original design.
3	Exterior	Wall	Ornament	Light Fixtures	EA	18		Globe lights on original cornice are missing and were presumably removed with original cornice.
4	Exterior	Door	Frame	Bronze	EA	4		Original bronze entry door/window frames are in fair condition, with patina on weathering surfaces and further deterioration on some sky-facing surfaces.
5	Exterior	Door	Leaf	Bronze Revolving Door	EA	1		Bronze revolving door is not of the original design, but sympathetic to the original design (see original drawings).
6	Exterior	Window	Frame	Bronze Storefront	SF	2790		Original first floor storefronts have been altered on south and east facades.
7	Exterior	Door	Leaf	Bronze Entry Storefront	EA	2	2'-4"	These doors are not of original design, but are sympathetic to the original design.
8	Exterior	Door	Frame, et al	Metal	EA	2		Original secondary entry doors on east and south facades have been replaced. Design corresponded to main entry doors of wood and plate glass leaves with bronze frames and kickplates.
9	Exterior	Window	Frame, et al	Metal	UNITS	903	VARIABLES	Window frames and sashes, north elevation.
10	Exterior	Window	Glazing	Glass	UNITS	903	VARIABLES	North façade, all windows.

Significance Rating: 6 through 1, being the most significant
Condition Options: Good/Fair/Poor
Urgency Options: Critical/Serious/Minor

Item # (Cont'd)	Recommendation	Significance Rating (1-6)	Condition Ranking (G/F/P)	Urgency (C/S/M)	Image #	Cost Estimate	
						Unit Price	Total
1	Clean and restore. Remove previous inappropriate patches and install patches using appropriate material to restore original appearance. Replace missing or unrepairable pieces with pieces replicating original. (HPTP 04214-all). Preserve sign. Critical examination to be conducted.	1	F to G	C	24-30, 115-126	\$ 525.00	\$ 2,917,950.00
2	Reconstruct to original appearance in form and color using sheet metal or fiberglass instead of terra cotta.				2, 3, 9, 12, 14, 15, 18	\$ 125.00	\$ 352,625.00
3	Reconstruct, providing replica light fixtures, with restoration of cornice.				2, 3, 9, 12, 14, 15, 18	\$ 500.00	\$ 9,000.00
4	Return doors to working condition. Clean, refinish, refurbish, and adjust existing hardware, replace unrepairable and deteriorated hardware with hardware matching original in material, color, finish, appearance. Strip, polish, and refinish/reseal bronze to restore condition of surfaces. Replace deteriorated kickplates with bronze kickplates to match finish of doorframes. (HPTP 08140-01).	1	F		20, 31, 32	\$ 2,000.00	\$ 8,000.00
5	Replace with hinged doors matching original design, appearance, and materials.	4	F		20, 33	\$ 6,000.00	\$ 6,000.00
6	Restore original bronze storefronts based on design shown in original drawings. Provide new bronze components to match original. Return any original remaining components to original finish.				9, 12, 21, 35	\$ 225.00	\$ 627,750.00
7	Replacement with doors of original design is recommended. A detailed study on ADA-compliance of this and other exit routes to be conducted before changes are made.	4	F		20, 34	\$ 4,900.00	\$ 9,800.00
8	Recreate doors based on original design with restoration of the original storefronts. Design may be altered to be code compliant.				9, 12	\$ 4,900.00	\$ 9,800.00
9	For increased thermal efficiency, replace with double glazed aluminum framed windows to match profiles of original windows. Design should be similar to those used on south and east elevations.	2	F to G		10, 11, 93	\$ 1,800.00	\$ 1,625,400.00
10	For increased thermal efficiency, replace with double glazed aluminum framed windows to match profiles of original windows. Design should be similar to those used on south and east elevations.	3	G		10, 11, 93	Included in item 9.	Included in item 9.

TOTAL **\$ 5,566,325.00**

BPP ELEMENT INVENTORY FORM

Date: 6/30/2009

Building Name: 220 S. State St.

Preservation Zone: 1B - 1913 ENTRY & LOBBY, 1ST FLOOR

Item #	Location	Assembly	Element	Material	Unit	QTY	Dimensions	Description
1	Interior	Wall	Surface	*Marble Veneer	SF	4200		Marble cladding, with decorative columns and trim, covers walls and ceiling of entry vestibule and lobby.
2 - install new 200 SF	Interior	Floor	Surface	Terrazzo	SF	200		Original terrazzo floor throughout lobby. In fair to good condition, except at the entry of the vestibule where it is badly worn. Six small gouges exist in lobby tiles and one large area needs to be completely replaced (1'x7') Terrazzo design in vestibule reflects geometry of non-original revolving door.
2 - clean 1200 SF	Interior	Floor	Surface	Terrazzo	SF	1200		Original terrazzo floor throughout lobby. In fair to good condition, except at the entry of the vestibule where it is badly worn. Six small gouges exist in lobby tiles and one large area needs to be completely replaced (1'x7') Terrazzo design in vestibule reflects geometry of non-original revolving door.
3	Interior	Electrical	Light Fixture	Incandescent	EA	8		Original ornate bronze light fixtures.
4	Interior	Furnishings	See Description	Bronze	EA	1		Original bronze building directory.
5	Interior	Furnishings	See Description	Bronze	EA	1		Original bronze letterbox.
6	Interior	Conveying System	Passenger Elevator	See Description	EA	2		Elevator indicators with decorative bronze trim. In good condition, but have been disconnected from current elevator system.
7	Interior	HVAC	Grill	Bronze	EA	5		Decorative bronze grill in entry.
8	Interior	Door	Frame	Bronze	EA	1		Original bronze vestibule door frame and window frames.
9	Interior	Door	Leaf Swing	Bronze Vestibule	EA	4	2'-4"	These doors are not of original design, but sympathetic to the original design (see original drawings).
10	Interior	Electrical	Communication System	Other	EA	6		Wall sconces above each elevator door. "This Car Up" written on each. No longer operational.
11	Interior	Conveying System	Passenger Elevator	See Description	EA	2		Elevator call button, bronze finish matches rest of lobby décor. "Push Button for All Cars" written on front.
12	Interior	Wall	Ornament	Other	EA	2	5'-11" x 10'	Mirrors on north and south walls of vestibule. Likely not original, but replace display windows of flanking retailers. Design is very sympathetic to other remaining elements of original design.
13	Interior	Electrical	Light Fixture	Fluorescent	EA	5		Square indirect suspended light fixtures serve the length of the main lobby. Not sympathetic to the original lobby design.

*Note: Marble to be cleaned with "poultice" method.

Significance Rating: 6 through 1, being the most significant

Condition Options: Good/Fair/Poor

Urgency Options: Critical/Serious/Minor

						Cost Estimate	
Item # (Cont'd)	Recommendation	Significance Rating (1-6)	Condition Ranking (G/F/P)	Urgency (C/S/M)	Image #	Unit Price	Total
1	Clean marble to remove dirt and staining.(HPTP 04455-06). Patch existing small holes and those created by the removal of modern light fixtures (HPTP04455-03).	1	G		39, 44	\$ 7.00	\$ 29,400.00
2 - install new 200 SF	Clean terrazzo and strip any old sealer. Repair holes, pits, and mars in floor, matching original surface. Reseal terrazzo.(HPTP 09400-02). Replace terrazzo in vestibule with design appropriate to the restoration of original entry doors.	1	P to G		39, 108	\$ 42.50	\$ 8,500.00
2 - clean 1200 SF	Clean terrazzo and strip any old sealer. Repair holes, pits, and mars in floor, matching original surface. Reseal terrazzo.(HPTP 09400-02). Replace terrazzo in vestibule with design appropriate to the restoration of original entry doors.	1	P to G		39, 108	\$ 36.80	\$ 44,160.00
3	Preserve in place, clean, rewire and re-lamp existing light fixtures.	1	G		39, 40	\$ 125.00	\$ 1,000.00
4	Preserve in place, clean, and modify directory with back lite unit.	1	G		42	\$ 1,600.00	\$ 1,600.00
5	Preserve in place and clean original mailbox.	1	G		41	\$ 750.00	\$ 750.00
6	Preserve in place, clean, rewire, and relamp elevator indicators. Reconnect to operate with current or new elevator system.	1	G		46	\$ 3,500.00	\$ 7,000.00
7	Preserve and clean bronze grille, and incorporate in new HVAC system.	1	G		38	\$ 1,750.00	\$ 8,750.00
8	Clean frame and repair where needed and repair/refurbish hardware to return to good appearance and smooth operating condition. (HPTP 08140-01).	1	G		36	\$ 3,000.00	\$ 3,000.00
9	Replace with doors of original design. Equip with automatic opener on one pair of doors for ADA compliance. Reuse existing door closers on non ADA-compliant set.				36	\$ 5,600.00	\$ 22,400.00
10	Preserve in place, clean, rewire, relamp, and repair so that indicators operate with current or new elevator system.	2	F		45	\$ 600.00	\$ 3,600.00
11	Preserve, clean, rewire, relamp, and repair so that they operate with current or new elevator system.	2	F		46	\$ 960.00	\$ 1,920.00
12	Design is appropriate and sympathetic to other remaining elements of original design. Clean and preserve mirrors and metal frames.				37	\$ 400.00	\$ 800.00
13	Remove and discard non-original fixtures. Patch holes left in marble ceiling to match cleaned original ceiling. More appropriate lighting design should be provided.	6	F		39	\$ 700.00	\$ 3,500.00

TOTAL \$ 136,380.00

BPP ELEMENT INVENTORY FORM

Date: 6/30/2009

Building Name: 220 S. State St.

Preservation Zone: 1C - 1913 EAST AND WEST STAIRS

Item #	Location	Assembly	Element	Material	Unit	QTY	Dimensions	Description
1	Interior	Stair	Structure	Cast Iron	Flights	50	3'-4" wide	Decorative cast iron risers and stringers in east stair levels 2 through 22. Risers for west stair are less decorative and used on all levels.
2	Interior	Stair	Surface	*Marble	SF	3216	3'-4" wide	Marble treads are used on all levels in the east stair and first basement through 22 of the west stair. Condition varies.
2.5	Interior	Stair	Surface	*Marble	Flight	1	3'-4" wide, 18 treads	Marble treads are used on all levels in the east stair and first basement through 22 of the west stair. Condition varies.
3	Interior	Stair	Railing	Wood	LF TO BE REFINISHED	37		Wooden railings in the east stair from levels 2 through 22.
4	Interior	Stair	Balustrade	Cast Iron	LF	280		Decorative cast iron balustrade and newel posts are found in the east stair, floors 2 through 22.
5	Interior	Stair	Railing	Bronze	EA	1		Cylindrical bronze railing, east stair, between basement and first floor. Not in original drawings, but sympathetic to rest of the original design and likely an early addition.
6	Interior	Wall	Surface	*Marble	SF	6588		Marble wainscoting levels 2 through 22 in east stair and first basement through 22 in west stair.
7	Interior	Wall	Surface	Plaster	SF	13776		Upper wall (above wainscot) of east stair (levels 2 through 22) and west stair (basement through 22).
8	Interior	Wall	Trim	Wood	LF TO REFINISH	2376		Wood trim at base of wainscot, between marble wainscot and upper wall, and around doors, levels 2 through 22.
9	Interior	Wall	Surface	*Marble	SF	2534		Marble cladding covers full wall in east stair between the first basement and second levels.
10	Interior	Ceiling	Surface	*Marble	SF	556		Marble cladding on ceiling between the first basement and level 2. Between the basement and level 1, this decorative ceiling takes the form of a half and then full barrel vault.
11	Interior	Stair	Railing	*Marble	SF	110		Curving marble railing between levels 1 and 2.
12	Interior	Wall	Ornament	*Marble	EA	2		Decorative marble brackets found over stair entry from the main lobby.
13	Interior	Floor	Surface	Ceramic Tile	SF	1340		Decorative mosaic tile floors on all landings of west stair, first basement through level 22. Found on landings in east stair on the first basement and level 22. All landings in the east stair are currently covered by carpet.
14	Interior	Stair	Surface	Slate	SF	75		Slate treads exist in west stair on level 22 and up.
15	Interior	Stair	Railing	Cast Iron	LF	423		Cast iron railing in west stair is utilitarian in design and is in fair to good condition.
16	Interior	Stair	Balustrade	Cast Iron	LF	423		Cast iron balustrade and newel posts in west stair are fairly utilitarian in design. They are in fair to good condition.

Significance Rating: 6 through 1, being the most significant

Condition Options: Good/Fair/Poor

Urgency Options: Critical/Serious/Minor

Item # (Cont'd)	Recommendation	Significance Rating (1-6)	Condition Ranking (G/F/P)	Urgency (C/S/M)	Image #	Cost Estimate	
						Unit Price	Total
1	Preserve in place and clean painted railing. Strip, remove rust, and repaint risers in west stair (all flights).	1	G		19, 61, 63	\$ 118.00	\$ 5,900.00
2	Preserve and clean, remove stains at several locations. (HPTP 04455-06).	1	G - east stair, P to G - west stair		19, 61, 64, 106, 113	\$ 30.00	\$ 96,480.00
2.5	Replace worn or broken treads with marble matching the original (basement through 1st floor of west stair).	1	G - east stair, P to G - west stair		19, 61, 64, 106, 113	\$ 9,000.00	\$ 9,000.00
3	Where finish is worn through to bare wood (assume 10%), remove all finishes from railing, re-stain and re-finish railing to match adjacent railings.	1	F		19, 59, 112	\$ 30.00	\$ 1,110.00
4	Preserve and clean.	1	G		19, 59	\$ 20.00	\$ 5,600.00
5	Preserve in place. Clean and polish.	3	G			\$ 68.00	\$ 68.00
6	East stair: clean. West stair: clean, remove stains and install patches in several locations. (HPTP 04455-03, 05, 06).	1	G - east stair F - west stair		19, 61, 63	\$ 30.00	\$ 197,640.00
7	Preserve and clean. Assume most cleaning will be in west stair (13039SF), and only 10% of east stair (737SF) = 13776 SF Total.	1	G		61, 63	\$ 8.00	\$ 110,208.00
8	East stair: clean. West stair: sand, stain, and apply clear finish to match existing.	1	G		19, 61	\$ 30.00	\$ 71,280.00
9	Preserve in place. Clean as needed (HPTP 04455-06).	1	G		19, 55, 56	\$ 7.00	\$ 17,738.00
10	Preserve in place. Clean as needed (HPTP 04455-06).	1	G		19, 57	\$ 13.00	\$ 7,228.00
11	Preserve in place. Clean as needed.	1	G		19, 55	\$ 5.00	\$ 550.00
12	Preserve in place and clean.	1	G		19, 55, 58	\$ 65.00	\$ 130.00
13	Remove this carpet. If original tile (or marble) remains, clean and repair. Where tile does not remain, restore to original design using new material.	1	P to G		60, 62, 64	\$ 25.00	\$ 33,500.00
14	Clean.	2	G		65	\$ 30.00	\$ 2,250.00
15	Future repairs or replacements will not distract from the other decorative features of this stair.	3	F to G		63, 64	\$ -	\$ -
16	Future repairs or replacements will not distract from the other decorative features of this stair.	3	F to G		63, 64	\$ -	\$ -
TOTAL						\$	558,682.00

BPP ELEMENT INVENTORY FORM

Date: 6/30/2009

Building Name: 220 S. State St.

Preservation Zone: 1D - 1928 SOUTHEAST OFFICES AND MAIN CORRIDOR, 20TH FLOOR

Item #	Location	Assembly	Element	Material	Unit	QTY	Dimensions	Description
1-SF TO REFINISH	Interior	Floor	Surface	Wood	SF TO REFINISH	1178		1928 floors based on original design. Parquet floors are made of maple with decorative inlay borders. In poor to fair condition.
1- SF TO REPLACE	Interior	Floor	Surface	Wood	SF TO REPLACE	50		1928 floors based on original design. Parquet floors are made of maple with decorative inlay borders. In poor to fair condition.
2	Interior	Wall	Surface	Wood	SF	210	7' tall	1928 partition walls and paneling on exterior walls. Includes mahogany paneling and wood and textured glass partitions.
3	Interior	Furnishings	See Description	See Description	BENCH TO RESTORE	1		A wooden bench with radiator grillwork, an important component to the 1928 alterations to this office suite. An addition bench once existed along the south wall of this corner office.
4	Interior	Door	Leaf Swinging	Wood Paneled	EA	4	3'-2" x 7'	Wood door with textured translucent glass panel. Of various finishes.
5	Interior	Door	Leaf Swinging	Wood Paneled	EA	1	3'-2" x 7'	Wood door of historic design. No window.
6	Interior	Wall	Trim	Wood	LF TO REFINISH	224		Present in along most walls in this office suite at the wall base and approximately 3' and 9' from floor.
7	Interior	Plumbing	Fixture	Lavatory	EA	1		Typical to this building, the lavatory consists of a sink and is enclosed within a water closet.
8	Interior	Furnishings	See Description	See Description	EA	1	6' x 2' x 7'	The water closet is a wooden enclosure divided by a central wooden panel into the lavatory and wardrobe.

20th Floor Corridor:

9	Interior	Wall	Surface	*Marble Veneer	SF	192		4 pilasters flanking the elevator bays are covered in a marble veneer.
10	Interior	Wall	Surface	*Marble Veneer	SF	200		Marble wainscoting remains along most of the office corridor.
11	Interior	Floor	Surface	*Marble	EA	11		Marble thresholds exist at many office entry doors located on the main corridor.
12	Interior	Wall	Trim	Wood	LF	134		Decorative wood trim matching that in the east stair, exists at approximately 3' (directly above the wainscoting) and 9' above the finished floor, and around doors and storefront windows.
13	Interior	Ceiling	Surface	Plaster	SF	730		Originally a flat plaster ceiling divided transversely into bays by thick ceiling beams.
14	Interior	Floor	Surface	Ceramic Tile	SF	730		A 1928 floor plan indicates that the original flooring in the main corridor (on at least the 20th floor) was ceramic mosaic tile.
15	Interior	Door	Leaf Swinging	Wood	EA	11	3'-2" x 7'	Original office doors.
16	Interior	Wall	Surface	Other	LF	150		Original storefront along corridor.

Significance Rating: 6 through 1, being the most significant
Condition Options: Good/Fair/Poor
Urgency Options: Critical/Serious/Minor

						Cost Estimate	
Item # (Cont'd)	Recommendation	Significance Rating (1-6)	Condition Ranking (G/F/P)	Urgency (C/S/M)	Image #	Unit Price	Total
1-SF TO REFINISH	Preserve. Check for loose pieces & refasten. Sand, stain, and apply clear finish to match existing.	2	F		22, 72, 111	\$ 12.80	\$ 15,078.40
1- SF TO REPLACE	Replace missing (5%) to match surrounding with wood of same species, color, length, and grain (if possible use salvaged wood from elsewhere in building). Match fasteners.	2	P		22, 72, 111	\$ 50.00	\$ 2,500.00
2	Preserve, fill holes (HPTP 06400-02). Employ a more appropriate design for running electrical lines across (conduit and outlets) wall. Where painted, strip, sand, stain and apply clear finish to match existing.	2	G		67, 68, 69, 70, 71, 73	\$ 25.00	\$ 5,250.00
3	Preserve materials in place. Restore south bench. Radiators may be removed & space used for other function.	2	F		76	\$ 2,500.00	\$ 2,500.00
4	Paint analysis to be conducted to determine the original finish and should be kept on record. Refinish accordingly.	2	G		73	\$ 1,000.00	\$ 4,000.00
5	Preserve.	3	G			\$ 800.00	\$ 800.00
6	Preserve. Where painted, strip, sand, stain, and apply clear finish to match existing unpainted trim.	2	G		68, 69, 73	\$ 30.00	\$ 6,720.00
7	Preserve in place.	2	G		75	\$ -	\$ -
8	Sink and wooden enclosure should be retained. Paint analysis to be conducted to determine the original finish and should be kept on record. Refinish accordingly.	2	G		75	\$ 1,500.00	\$ 1,500.00
9	Where found, it is generally in good condition. Clean (HPTP 04455-06), patch holes, and preserve.	1	F to G		84	\$ 22.90	\$ 4,396.80
10	Clean (HPTP 04455-06) and preserve. Repair small cracks and fill holes as necessary (HPTP 04455-03).	1	G		22	\$ 30.00	\$ 6,000.00
11	Clean (HPTP 04455-06) and preserve in place.	1	G		83	\$ 50.00	\$ 550.00
12	Preserve in place. Strip paint, sand, stain, and apply a clear finish match original.	1	F to G		22, 81, 83	\$ 30.00	\$ 4,020.00
13	Uncover and restore, leaving clear of piping or ductwork.	1	Good to Unknown		84	\$ 25.00	\$ 18,250.00
14	Investigative work to be conducted to determine if original mosaic tile floors exist under corridor carpet. This historic material to be preserved in place. Where a majority of original material still exists, restoration of this flooring to be considered.	1	Unknown		22	\$ 18.00	\$ 13,140.00
15	Preserve with original hardware and mail slots. Conduct paint analysis and keep on record. Refinish as needed (08610-07).	1	G		79, 82	\$ 800.00	\$ 8,800.00
16	Restore original storefront along corridor: remove paneling over windows and clean/repair glass.	1	F		22, 79, 81	\$ 1,860.00	\$ 279,000.00
TOTAL						\$	372,505.20

BPP ELEMENT INVENTORY FORM

Date: 6/30/2009

Building Name: 220 S. State St.

Preservation Zone: 2A - MAIN CORRIDOR, 2ND-20TH AND 21ST FLOORS

Item #	Location	Assembly	Element	Material	Unit	QTY	Dimensions	Description
1	Interior	Wall	Surface	*Marble Veneer	SF TO BE PRESERVED & REPAIRED	1900		Pilasters flanking the elevator bays are covered in a marble veneer. 4 per floor.
2	Interior	Wall	Surface	*Marble Veneer	SF	11922		Marble wainscoting remains along most of the office corridor.
3	Interior	Floor	Surface	*Marble	EA	190		Marble thresholds exist at many office entry doors located on the main corridor.
4	Interior	Wall	Trim	Wood	LF	11178		Decorative wood trim matching that in the east stair, exists at approximately 3' (directly above the wainscoting) and 9' above the finished floor, and around doors and storefront windows.
5	Interior	Ceiling	Surface	Plaster	SF	8800		Originally a flat plaster ceiling divided transversely into bays by thick ceiling beams. 880 SF/FL.
6	Interior	Door	Leaf Swinging	Wood	EA	190	3'-2" x 7'	Original office doors.

Significance Rating: 6 through 1, being the most significant
Condition Options: Good/Fair/Poor
Urgency Options: Critical/Serious/Minor

						Cost Estimate	
Item # (Cont'd)	Recommendation	Significance Rating (1-6)	Condition Ranking (G/F/P)	Urgency (C/S/M)	Image #	Unit Price	Total
1	Where found, it is generally in good condition. Clean (HPTP 04455-06), patch holes, and preserve. If removal is necessary for future renovations, salvage for reuse elsewhere. (Assuming 50% preserved in place and 50% salvaged.)	1	F to G		84	\$ 137.50	\$ 261,250.00
2	Clean (HPTP 04455-06) and repair small cracks and fill holes (HPTP 04455-03). If removal is necessary for future renovations, salvage for reuse elsewhere. (Assuming 50% preserved in place and 50% salvaged.)	1	G		22, 79, 81	\$ 137.50	\$ 1,639,275.00
3	Clean (HPTP 04455-06). If removal is necessary for future renovations, salvage for reuse elsewhere. (Assuming 50% preserved in place and 50% salvaged.)	1	G		83	\$ 50.00	\$ 9,500.00
4	If removal is necessary for future renovations, salvage for reuse elsewhere. (Assuming 50% is preserved in place and 50% is salvaged.)	1	F to G		22, 81, 83	\$ 30.00	\$ 335,340.00
5	Preserve in place. Uncover if possible in future renovations. (Assuming 50% will be uncovered in future renovations.)	1	Good to Unknown		84	\$ 18.00	\$ 158,400.00
6	Preserve with original hardware and mail slots. If removal is necessary for future renovations, salvage for reuse elsewhere. Assume that 50% is preserved in place, no treatment, and 50% will be salvaged.	1	G		79, 82	\$ 600.00	\$ 114,000.00
TOTAL							\$ 2,517,765.00

BPP ELEMENT INVENTORY FORM

Date: 6/30/2009

Building Name: 220 S. State St.

Preservation Zone: 2B - 1913 WINTER GARDEN CABARET DECOR, 1ST BASEMENT

Item #	Location	Assembly	Element	Material	Unit	QTY	Dimensions	Description
1	Interior	Floor	Surface	Ceramic Tile	SF	2420		Original mosaic tile, design matching that found in east and west stair. Likely originally used in main corridor of all occupied floors (except the first floor). This is the only level on which this feature remains uncovered and explains how the design relates to the elevator bays.
2	Interior	Wall	Ornament	Plaster	SF total	525		Original wall surfaces contain highly decorative plasterwork incorporating floral and other organic motifs surrounding large mirrors. This vaguely rococo design was likely attributed to the Winter Garden Cabaret.
3	Interior	Ceiling	Ornament	Plaster	SF total	2420		The decorative plasterwork found on the walls also spills onto the ceiling.
4	Interior	Electrical	Fixture	Incandescent	fixtures to re-wire & re-lamp	8		8 highly stylized ceiling fixtures, fairly art deco from 1920's or 30's. Originally gas with later electric addition.
5	Interior	Electrical	Fixture	Incandescent	fixtures to repair	3		Highly stylized ceiling fixtures, fairly art deco from 1920's or 30's. Originally gas with later electric addition. 3 of 8 missing approximately 1/2 of fixture.
6	Interior	Electrical	Fixture	Incandescent	fixtures to fabricate	2		Original fixtures appear to have been spaced evenly throughout space that was once the restaurant dining area. 2 assumed missing.
7	Interior	Door	Frame & Opening	Wood and Plaster	EA	5		Plaster and wood decorations found on elevator doors, trim, and surrounding columns match motifs found on other basement walls. Three and a half elevator bays have been covered by drywall and at least two retain a great deal of this decorative material.
8	Interior	Wall	Ornament	Other	EA	1	2.5' x 5'	Niche (presumably for a statue) with decorative plasterwork along frame and at apex. Original function unknown. Currently located in a deep recess of the modern wall.

Significance Rating: 6 through 1, being the most significant
Condition Options: Good/Fair/Poor
Urgency Options: Critical/Serious/Minor

Item # (Cont'd)	Recommendation	Significance Rating (1-6)	Condition Ranking (G/F/P)	Urgency (C/S/M)	Image #	Cost Estimate	
						Unit Price	Total
1	Preserve, clean, and repair (HPTP 09310-03, 06, 08, 09, 0931102) in within "rehabilitation" zone.	1	P to G		54	\$ 14.00	\$ 33,880.00
2	Preserve and repaint existing. Repair damaged - assume 10% of total (HPTP 09210-04, 05).	1	P to F		47, 48	\$ 65.00	\$ 34,125.00
3	Preserve and repaint existing. Repair damaged - assume 10% of total (HPTP 09210-04, 05).	1	P to F		51	\$ 30.00	\$ 72,600.00
4	Preserve, re-wire and re-lamp.	1	P to F		52	\$ 350.00	\$ 2,800.00
5	Reconstruct missing portions of 3 fixtures.	1	p		52	\$ 1,800.00	\$ 5,400.00
6	Refabricate and install new fixtures based on remains of existing fixtures. Position to recreate original lighting scheme.				52	\$ 2,000.00	\$ 4,000.00
7	Bays to be uncovered and existing wood and plaster decor should be preserved and repaired (HPTP 09210-04, 05). For uniformity, plasterwork around the east most elevator door to be restored based on existing. If other elevators are to be used, redesign of doors to meet codes should be sympathetic to, but not detract from original doors. If elevators are not in service, existing doors to be fixed in place.	1	P to F		49, 50	\$ 1,500.00	\$ 7,500.00
8	Uncover more appropriately, by increasing size of current wall recession. Clean and preserve.	2	F		53	\$ 12,000.00	\$ 12,000.00
TOTAL						\$	172,305.00

BPP ELEMENT INVENTORY FORM

Date: 6/30/2009

Building Name: 220 S. State St.

Preservation Zone: 4A - WEST FAÇADE

Item #	Location	Assembly	Element	Material	Unit	QTY	Dimensions	Description
1	Exterior	Window	Frame, et al	Metal	EA	178		Original metal windows, full west façade.
2	Exterior	Window	Glazing	Wire Glass	EA	178		Original metal windows, full west façade.
3	Exterior	Wall	Cladding	Terra Cotta	SF	15685		Terra cotta blocks in fair to poor condition

Significance Rating: 6 through 1, being the most significant
Condition Options: Good/Fair/Poor
Urgency Options: Critical/Serious/Minor

Item # (Cont'd)	Recommendation	Significance Rating (1-6)	Condition Ranking (G/F/P)	Urgency (C/S/M)	Image #	Cost Estimate	
						Unit Price	Total
1	For increased thermal efficiency, replace with double glazed aluminum framed windows. Design should be similar to those used on south and east elevations.	3	F		10, 91	\$ 1,800.00	\$ 320,400.00
2	For increased thermal efficiency, replace with double glazed aluminum framed windows. Design should be similar to those used on south and east elevations.	3	G		91	Included above.	Included above.
3	Clean and restore to original material and scale where patching repairs have been made in the past (HPTP 04214-all). Preserve sign. Critical examination to be conducted.	1	F	1	27, 30, 124, 126	\$ 250.00	\$ 3,921,250.00
TOTAL							\$ 4,241,650.00

BPP ELEMENT INVENTORY FORM

Date: 6/30/2009

Building Name: 220 S. State St.

Preservation Zone: 4B - TENANT AREAS 1ST TO 21ST FLOORS

(EXCEPT AREAS OTHERWISE NOTED, INCLUDING ELEVATOR CABS)

Item #	Location	Assembly	Element	Material	Unit	QTY	Dimensions	Description
1	Interior	Wall	Structure	Other	EA	8		Marble partition walls used in restroom stalls.
2	Utilities/Systems	Plumbing	Fixture	Lavatory	EA	8		Several historic plumbing fixtures (lavatories, toilets, & faucets) continue to exist within restrooms and office spaces.

Significance Rating: 6 through 1, being the most significant

Condition Options: Good/Fair/Poor

Urgency Options: Critical/Serious/Minor

Cost Estimate

Item # (Cont'd)	Recommendation	Significance Rating (1-6)	Condition Ranking (G/F/P)	Urgency (C/S/M)	Image #	Unit Price	Total
1	Salvage for reuse in historic example of restroom design on 20th floor.	3	F		90	\$ 450.00	\$ 3,600.00
2	Reuse as codes permit on 20th floor.	3	F		90	\$ 600.00	\$ 4,800.00
TOTAL						\$	8,400.00

BPP ELEMENT INVENTORY FORM

Date: 6/30/2009

Building Name: 220 S. State St.

Preservation Zone: 4C - 22ND FLOOR , ROOF & PENTHOUSE

Item #	Location	Assembly	Element	Material	Unit	QTY	Dimensions	Description
	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a

Significance Rating: 6 through 1, being the most significant
Condition Options: Good/Fair/Poor
Urgency Options: Critical/Serious/Minor

Item # (Cont'd)	Recommendation	Significance Rating (1-6)	Condition Ranking (G/F/P)	Urgency (C/S/M)	Image #	Cost Estimate	
						Unit Price	Total
	n/a	n/a	n/a	n/a		\$	Unit x QTY

BPP ELEMENT INVENTORY FORM

Date: 6/30/2009

Building Name: 220 S. State St.

Preservation Zone: 4D - 2ND & 3RD BASEMENTS

Item #	Location	Assembly	Element	Material	Unit	QTY	Dimensions	Description
	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a

Significance Rating: 6 through 1, being the most significant
Condition Options: Good/Fair/Poor
Urgency Options: Critical/Serious/Minor

Item # (Cont'd)	Recommendations	Significance Rating (1-6)	Condition Ranking (G/F/P)	Urgency (C/S/M)	Image #	Cost Estimate	
						Unit Price	Total
	n/a	n/a	n/a	n/a		\$	

220 S. STATE - SUMMARY OF COSTS

<i>Zone</i>	<i>Cost</i>
1A	\$ 5,566,325.00
1B	\$ 136,380.00
1C	\$ 558,682.00
1D	\$ 372,505.20
2A	\$ 2,517,765.00
2B	\$ 172,305.00
4A	\$ 4,241,650.00
4B	\$ 8,400.00
4C	\$ -
4D	\$ -
Total	\$ 13,574,012.20

III. IMAGES

A. HISTORIC IMAGES

Display Ad 12 -- No Title
 Chicago Daily Tribune (1872-1963); Sep 22, 1912; ProQuest Historical Newspapers Chicago Tribune (1849 - 1985)
 pg. A6

The State and Quincy Building

This handsome modern office building now under course of construction for J. L. Kesner is the place for your offices, store or shop.

Outside the Building

The architects have designed a building that will tower above its neighbors like a beautiful marble shaft, twenty-one stories high, and all four sides of glass white terra cotta.

The beautiful main entrance will be on State Street; half a block away is Jackson Boulevard, the main artery, so to speak, of downtown Chicago. Within a block or so either way are all the elevated and surface car lines.

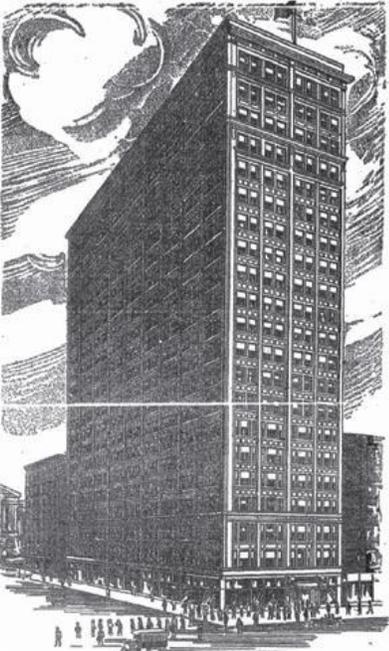
It stands on a deep, narrow lot; you will have natural light and air in every corner of every room. Quincy Street is on the south side and no high building can go up next to it on the north, because the six story structure there is controlled by the same ownership. This arrangement makes an interior court unnecessary, and the office floors above the sixth have ample light and air from all four sides.

The entire fireproof steel structure will rest on 37 immense columns, eight feet in diameter, driven down through the ground for 120 feet to bed rock. The columns are like solid granite, and they need to be, because they have to support nine million pounds of steel. It has taken 250 men, working day and night, two months to get them in place.

All the material used is manufactured here; it is a "Made-in-Chicago" building.

It makes a big difference to the man who might like to do business with you, if he reaches your office easily and quickly. If you are in the State and Quincy Building you have this definite advantage to offer your visitors. It is convenient not only for you, but for thousands of others who want to see you.

The State and Quincy building will have a frontage of 524 feet on State Street and 1444 feet on Quincy Street.



Inside the Building

The main entrance and corridor are as beautiful and dignified as any palace. There is no gaudiness or lavish display; the whole effect is made by the masterly use of white Italian marble, in combination with bronzes for the canopy, figures, and elevator inclosures.

After you have passed through the entrance and main corridor you will be favorably impressed with the way the whole interior arrangement has been handled.

On each floor there will be long, finely proportioned halls—all that abundance of outside light multiplied many times by the white marble floors and walls.

For the interior finish in every room nothing will be used but the finest Mexican mahogany. Hard maple for the floors, and you can have it finished as you desire.

Telnet fixtures will be of vitreous porcelain, with silver metal trimmings.

The first six floors are planned especially for small shops and salerooms' sample rooms.

Shops in this building are right on State Street, the greatest shopping street in Chicago—but without the big ground floor rentals.

Space will be divided to suit. If you want a big sample room or office, you can have an entire half floor without a column in evidence; the building is so planned.

Six high speed elevators will run at rate of 240 feet a minute—with every modern improvement for safety and comfort.

Heating and lighting will be of the latest and most modern kind. The janitor service will be as efficient and capable as a smooth-running machine.

Below the main floor there will be three basements, with the lowest at forty feet below street level. With the attic floor the building actually has twenty-five stories.

The State and Quincy Building, being erected at the Northwest Corner of State and Quincy Streets

YOU want your place of business, like your home, to be comfortable, convenient, pleasant, in a good location; not only for yourself, but especially in business—for those who come to see you. In regard to your residence you are particular in all these matters; your business home is even more important—it supports the other. Attractiveness in a store, an office, a small shop, is an asset; it has its effect on trade; you must think of its effect on trade just as you think of the effect of your merchandise and manners. Many a large business needs a small, or comparatively small, space. Many a small business could become large if it had the large-business surroundings. There is need, you see, of suitable provision for small shops and offices; in a good business neighborhood; with all the advantages of light, ventilation, easy access, and the kind of prompt, efficient, perfect service which you like to give your friends at home; which is often lacking in business; which your customers appreciate. That's the idea in this State and Quincy Building. If that's what you want for your business you'll find it in this building. It is being put up for people who want that kind of a business home.

You may have an exact space as you see here if we can lower size what you are going to build, we can get it ready as we go along. We'll finish your space as well your ready before for look of us. The back of inside will be here. If you live out of town and are thinking of locating your business in Chicago before very long, send for a descriptive book of the State and Quincy Building, with questions of price that will be sent to your requirements.

For Further Particulars Apply to J. L. KESNER, 5 North Wabash Avenue Corner of Madison Street
Telephone Randolph 4441

Image 1 - News article with photo of the State and Quincy Building

Type: Historical Image

Date: 1912

Publication: "The State and Quincy Building," *The Chicago Daily Tribune*, 22 Sept. 1912.

Description: Article and drawing.



Image 2 - Aerial shot of State and Quincy

Type: Historical Photo

Date: n/a

Publication: Consumers Building, State & Quincy. Photo by Wm.T. Barnum. Book 1, #58. Chicago History Museum Ready Prints – State Street. ICHI – 21054.

Description: South and east facades.



Image 3 - Street level shot looking north at State and Quincy south facade

Type: Historical Photo

Date: c. 1915

Publication: State St. ca 1915 Looking North. Chicago History Museum Ready Prints – State Street. ICHI – 19907.

Description: South façade.

THE
CONSUMERS BUILDING
220 So. State St.

A 22 story, fireproof office structure with modern appointments and excellent service. Light on all four sides. Maple floors. Commercial tenancy including accountants, engineers, and government offices. Dignified marble lobby separate from stores. An excellent location with a State Street address and reasonably priced.

ALBERT H. WETTEN & CO.
Agents
141 W. Jackson Boulevard
WAbash 2-3630



Image 4 - Article with photo of Consumers Building - 220 South State

Type: Historical Photo

Date: 1950

Publication: Consumers Building. Chicago Cross Reference Assoc. City of Chicago Directory, 1950 Criss-cross.

Description: Advertisement with photo.

7F38AG
767z

THE CONSUMERS BUILDING

220 SOUTH STATE ST.

CHICAGO 4

(one-half block north of Jackson Boulevard)

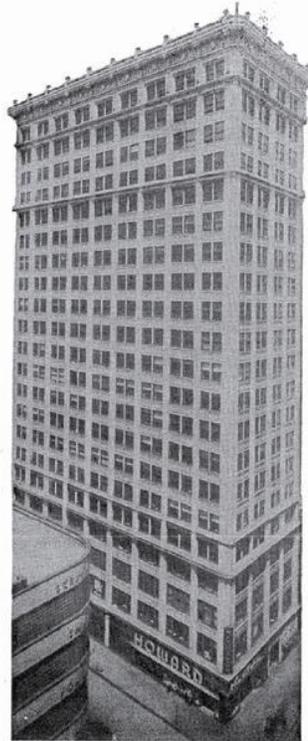
LARGE AND SMALL OFFICES
SENSIBLE RENTS

- **THE BUILDING**
22 stories, white terra cotta exterior, beautiful marble lobby, six passenger elevators.
- **THE OFFICES**
Large and small areas available. All near elevators. Every office with own water and clothes closet. Unobstructed natural light on all sides.
- **THE SERVICE**
First-class in every respect. Full cleaning daily. Light bulbs supplied free. Elevator service around the clock, 7 days a week. Separate freight elevator and rear receiving room. Restaurant, off lobby. Barber Shop on first floor. Frequent mail pickup and delivery.
- **THE LOCATION**
At the corner of world famous State St. and Quincy St., the heart of Chicago's "Loop", the center of the City. Chicago is the terminus of the St. Lawrence Seaway and the gateway to all mid-America via air, rail, highway, or water. Subway entrance at our door.
- **NEARBY SERVICES AND FACILITIES**
Within one block there are: most major department stores and specialty shops; a main postoffice; important hotels; all local transportation routes for bus, subway, and rapid transit; direct connection (via bus) to Midway and O'Hare International Airports; theaters; fine restaurants. All major railroad depots are within walking distance. Everything a large and truly cosmopolitan city can offer surrounds the Building.
- **PARKING**
Modern, 25-story parking garage immediately adjoining. Monthly rates available with full in-and-out privilege. Direct entrance to parking garage without exposure to the weather.

Locate your office with us on State Street, "Heart of America". Join the many others already using these wonderful advantages of central location. Our tenants are a cross-section of every business field. We would like to have you with us, too.

Office of the Building: Room 1028
Phone: HArrison 7-4178
G.R. Bailey & Co. Agents
Phone: WAbash 2-3630

G. R. Bailey & Co., Agents
141 W. Jackson Blvd.
Chicago 4, Illinois
for the Consumers Building



GRB
2/27/59

Image 5 - Article and Photo of Consumers Building

Type: Historical Photo

Date: n/a

Publication: G. R. Bailey & Co., Agents. *The Consumers Building, Large and Small Offices, Sensible Rents.* 27 Feb 1959.

Description: Advertisement

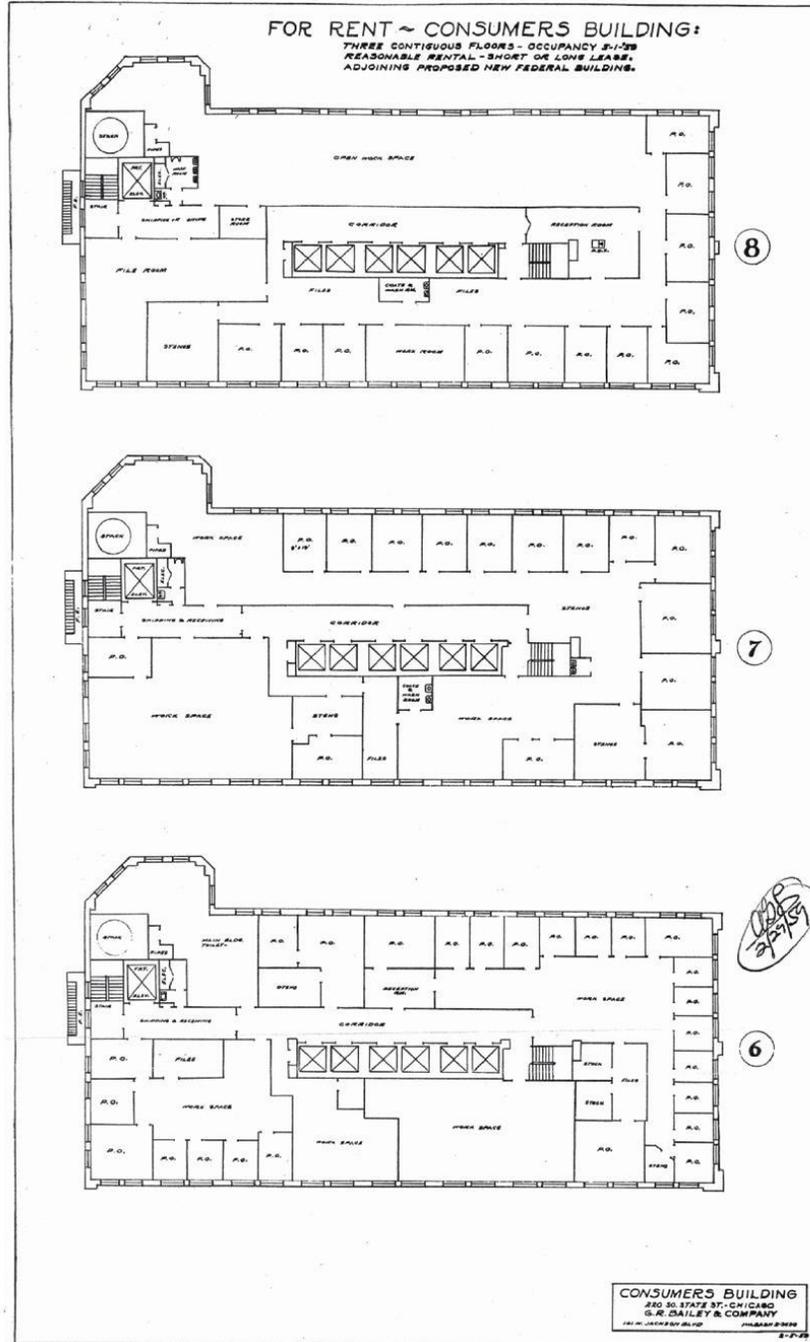


Image 6 - Advertisement floor plans for Consumers Building

Type: Historical Image

Date: n/a

Publication: G. R. Bailey & Co., Agents. *The Consumers Building, Large and Small Offices, Sensible Rents.* 27 Feb 1959.

Description: Advertisement floor plans.



Image 7: Historic postcard of 220 S. State Street. Date unknown.



Image 8: Historic postcard of Consumers and Century Buildings. Date unknown.

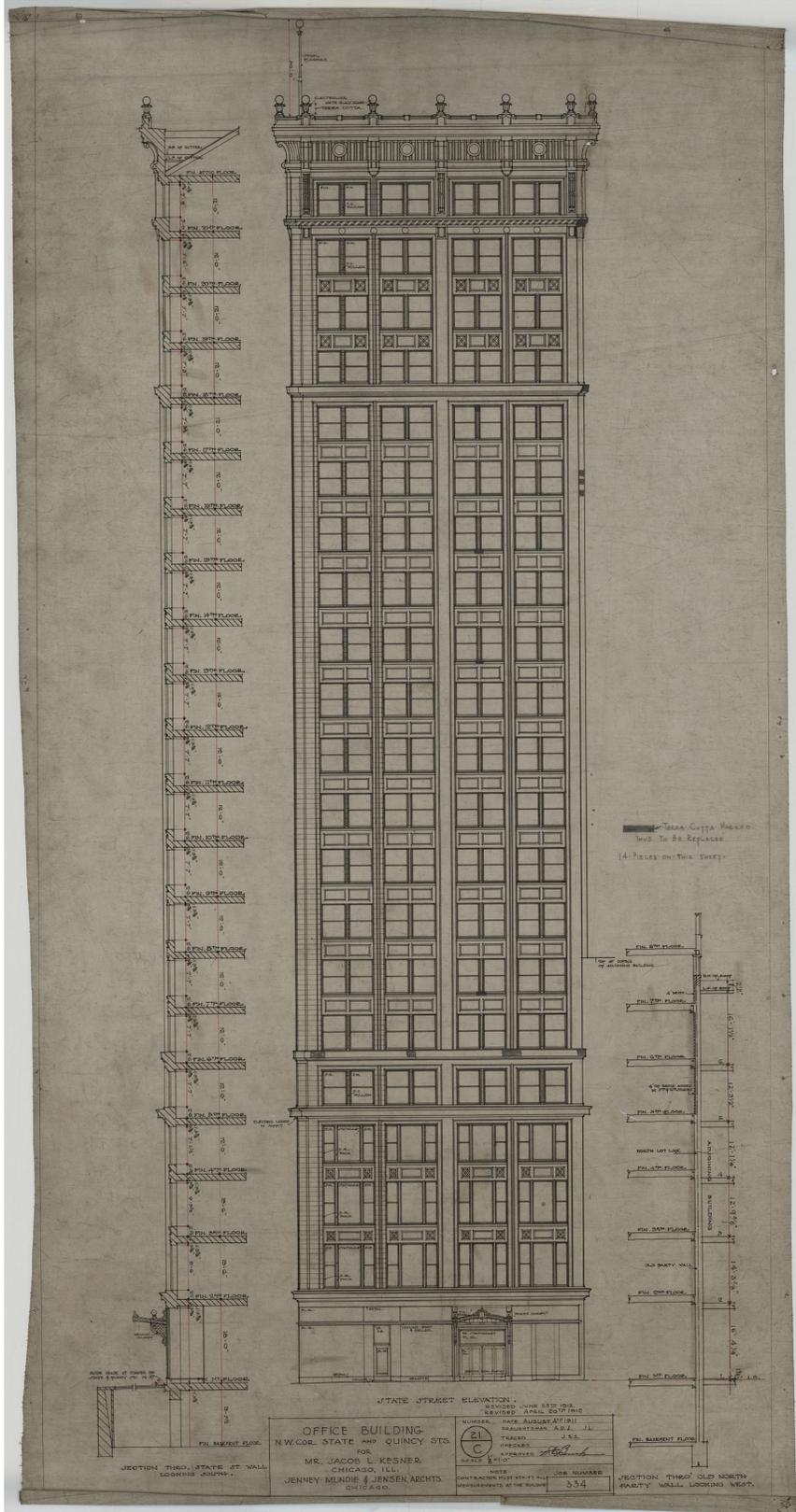


Image 9: Original drawing of east façade, Jenney, Mundie & Jensen, 1911.

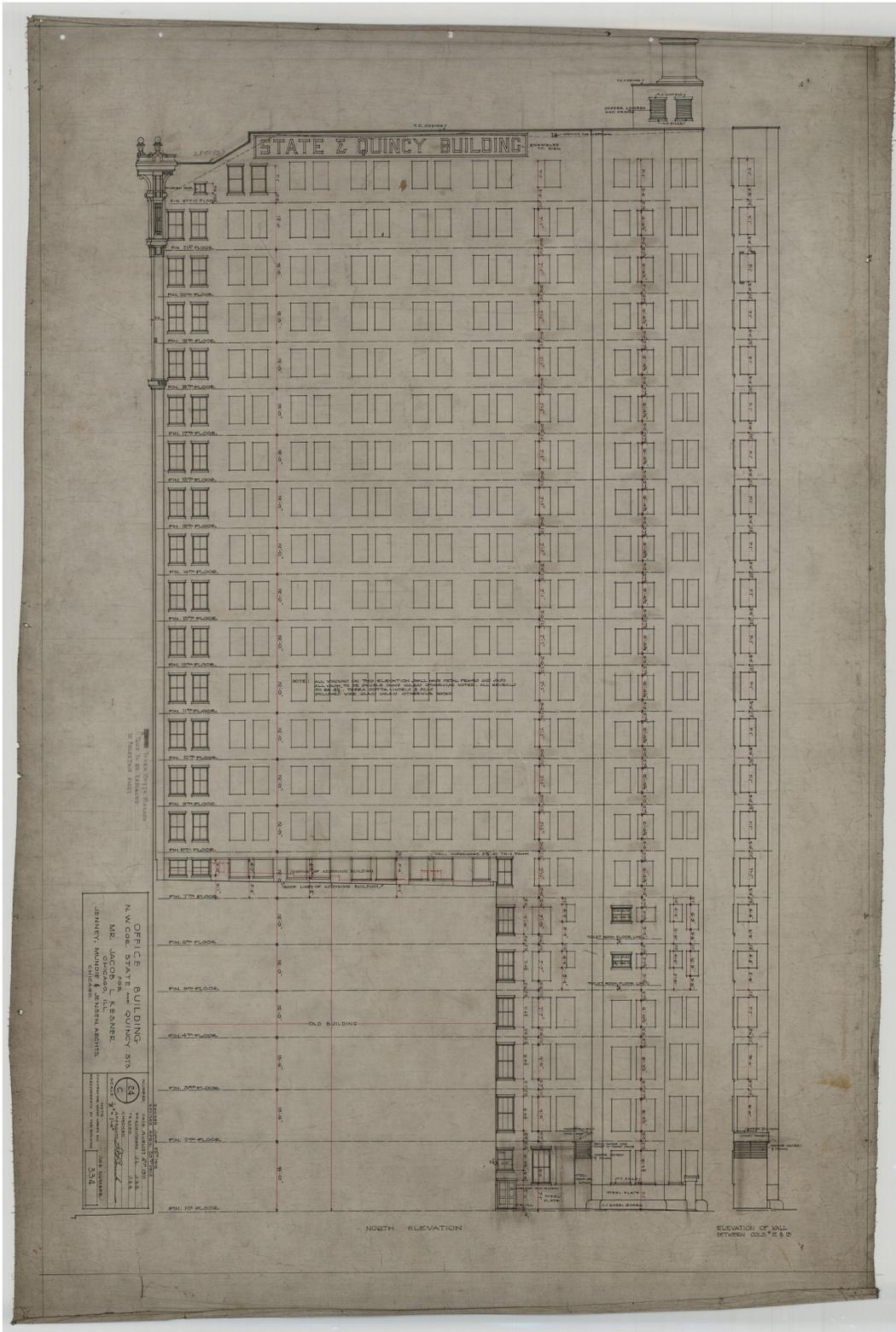


Image 11: Original drawing of north façade, Jenney, Mundie & Jensen, 1911.

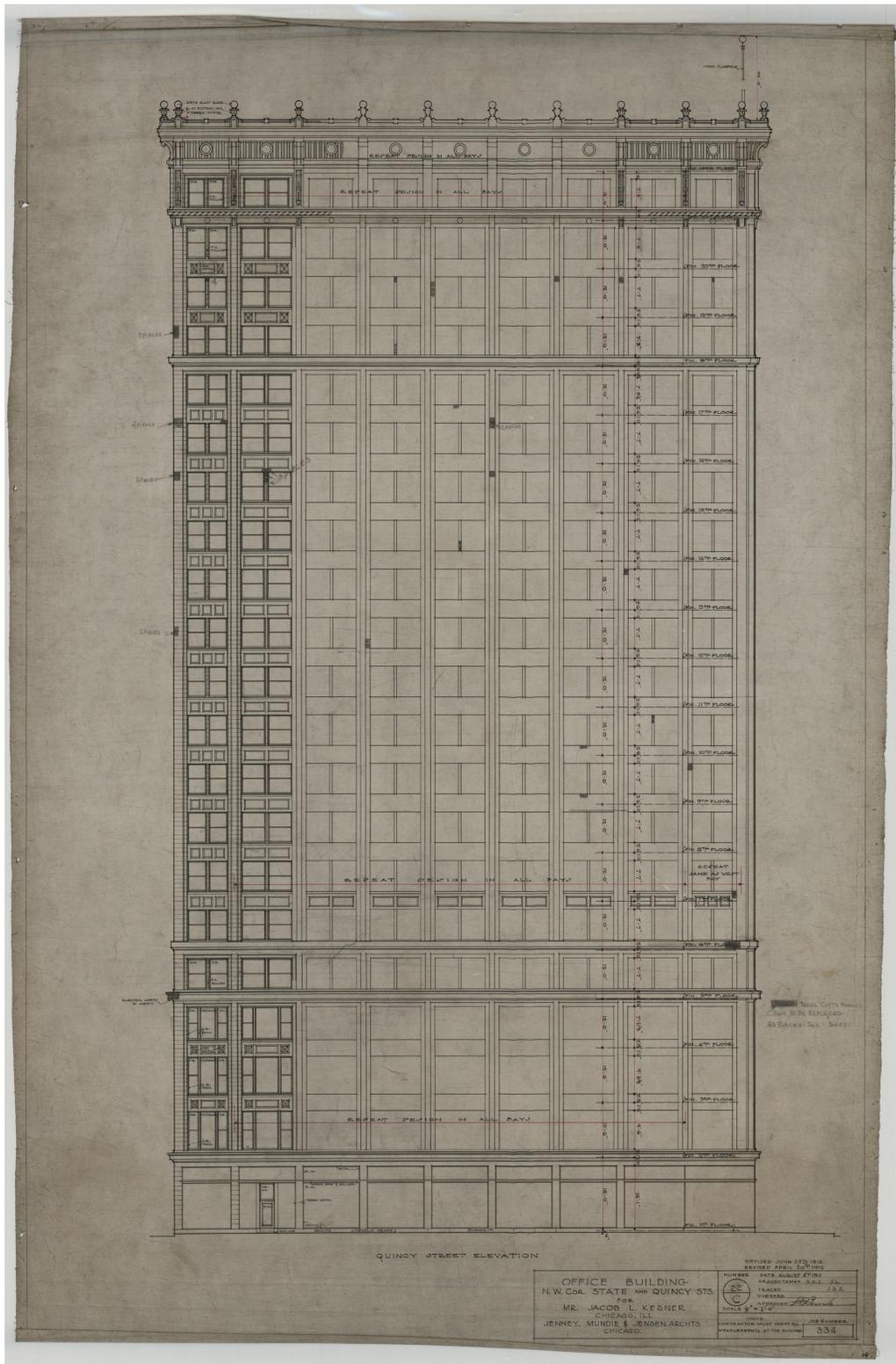


Image 12: Original drawing of south façade, Jenney, Mundie & Jensen, 1911.

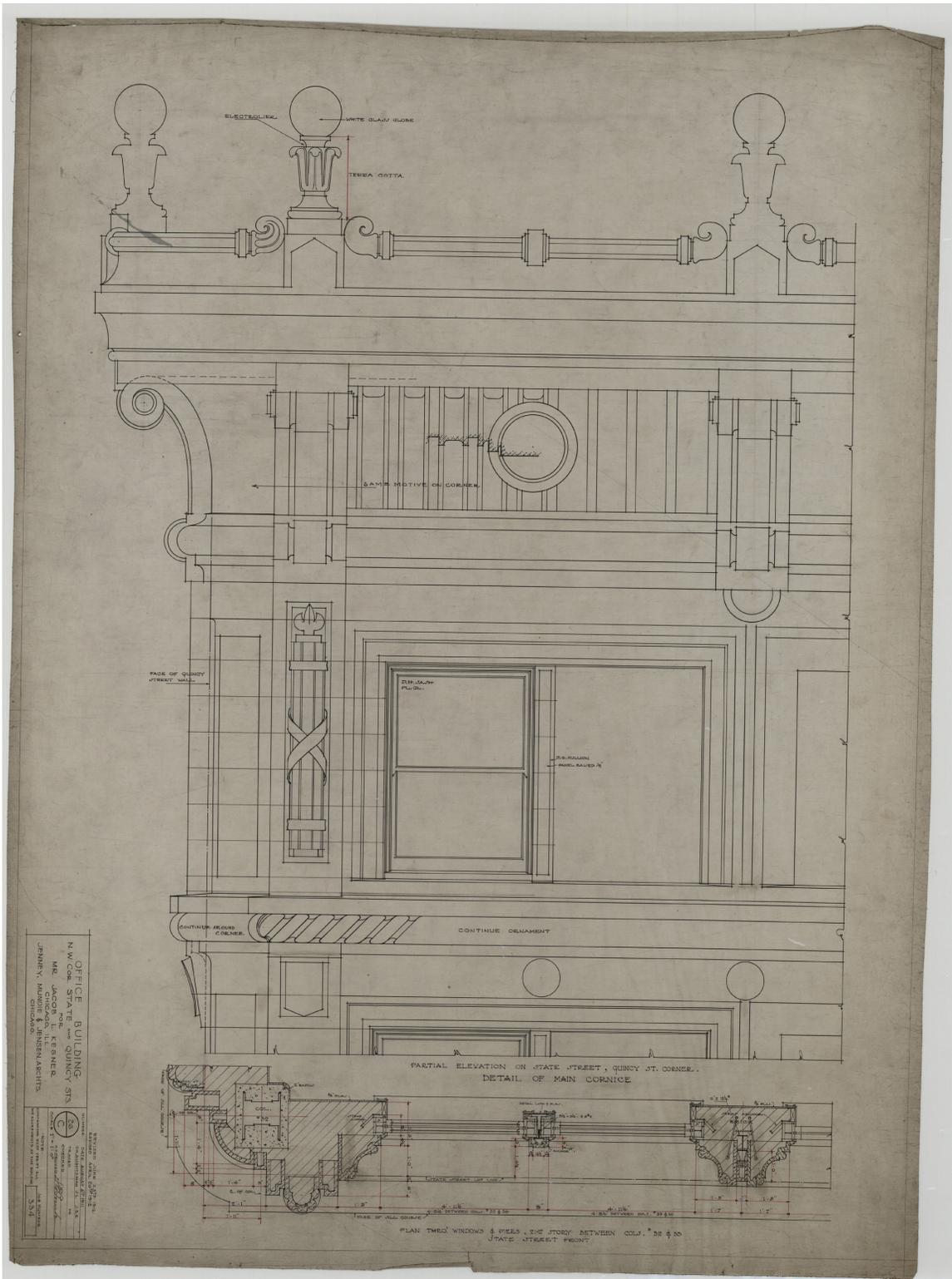


Image 14: Original drawing of upper story and cornice, 1911.

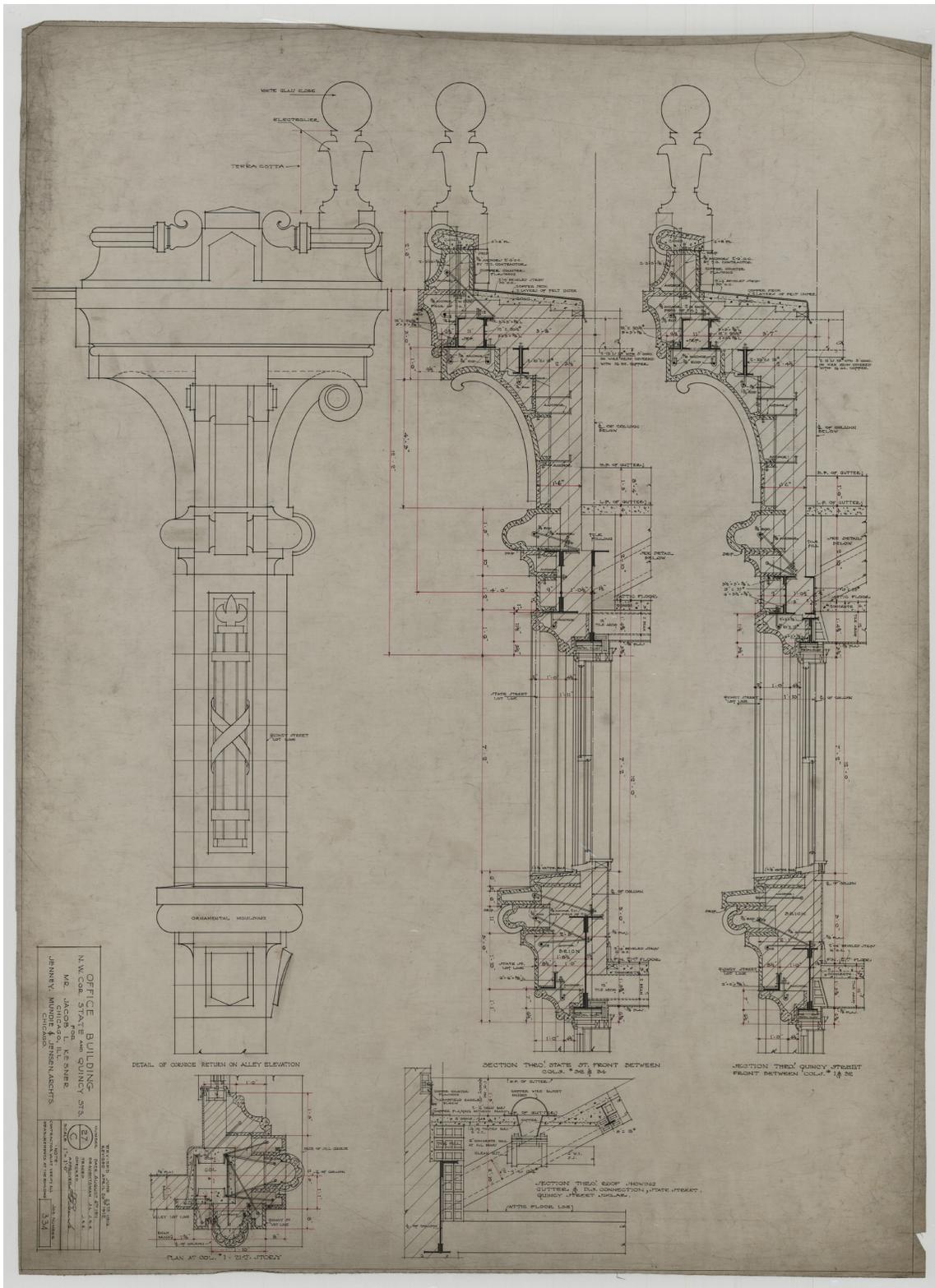


Image 15: Original drawing of cornice details, 1911.

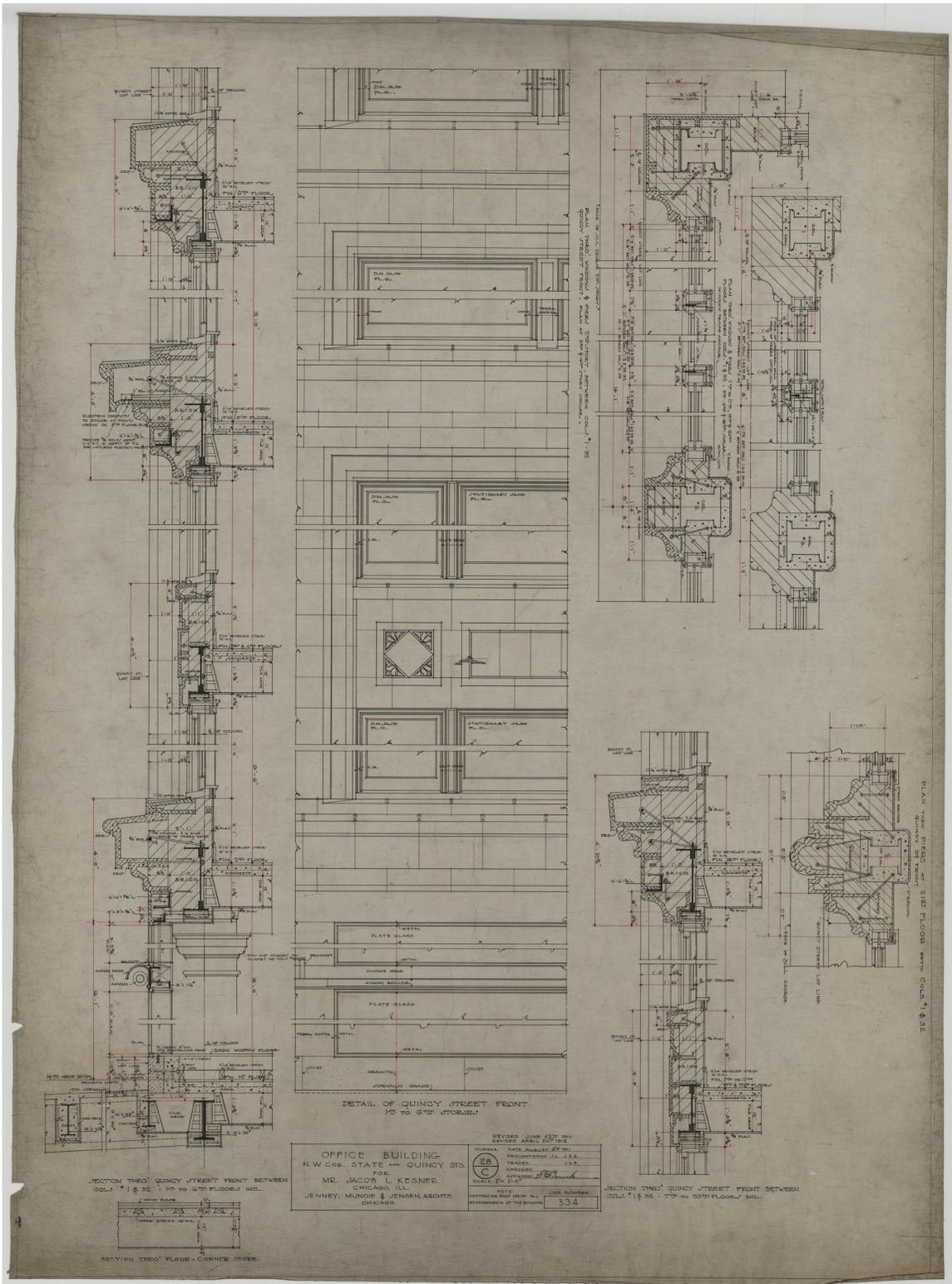


Image 16: Original drawing of facade details, 1911.

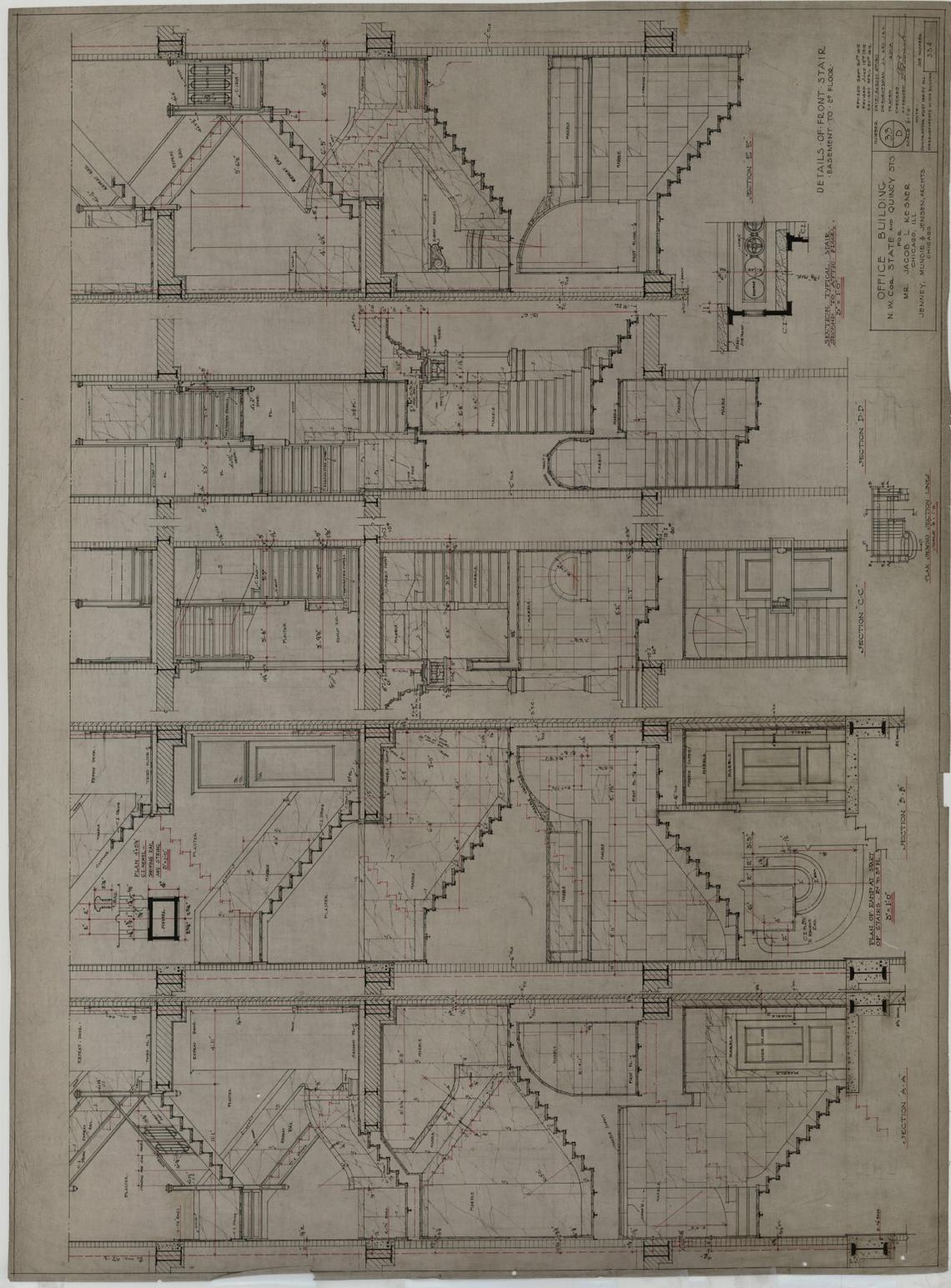
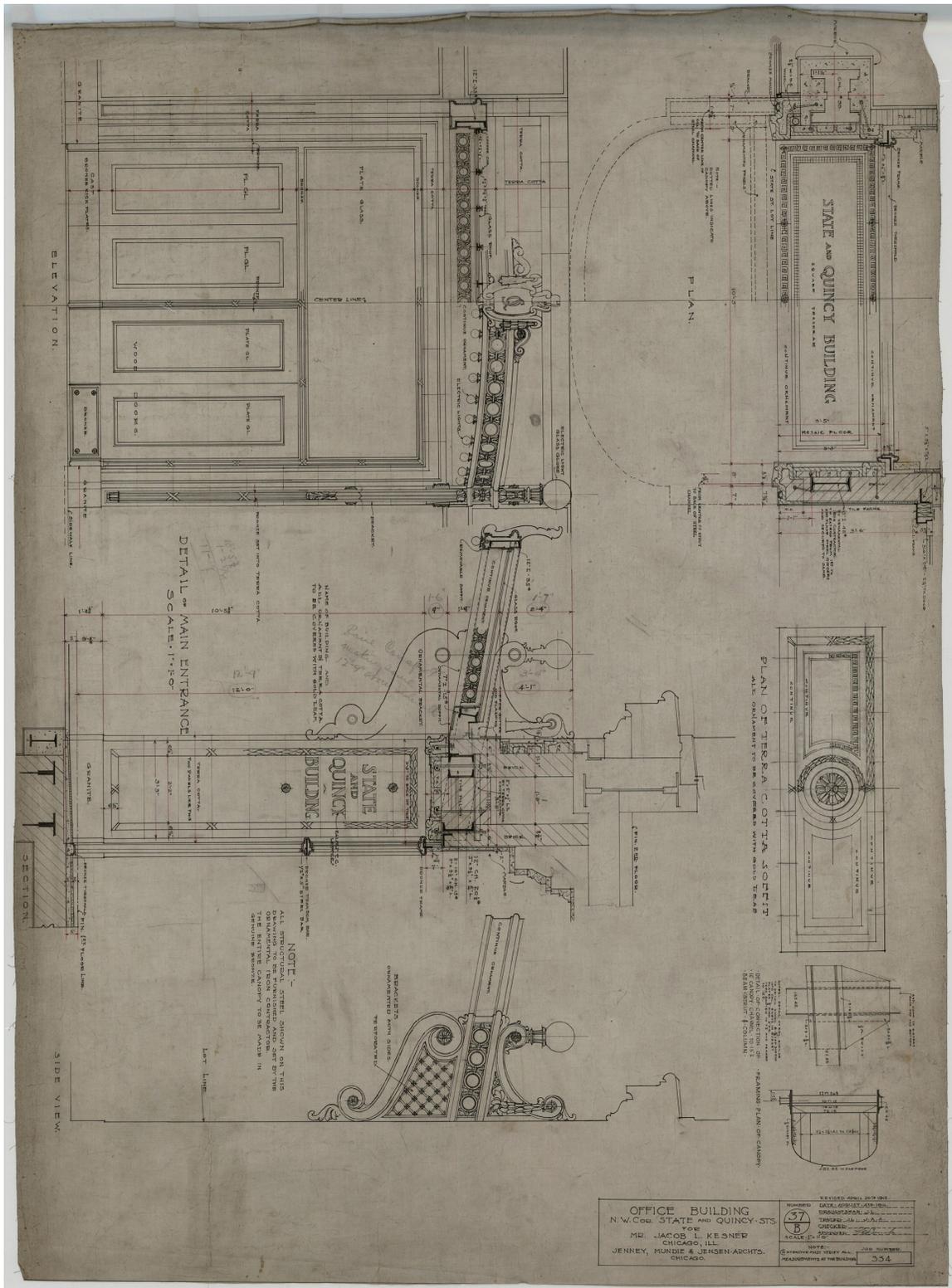


Image 19: Original drawing of east stair, 1911.



B. GALLERY PHOTOS



Image 23: North façade signage.



Image 24: South façade.



Image 25: East façade.



Image 26: North façade.



Image 27: West façade.

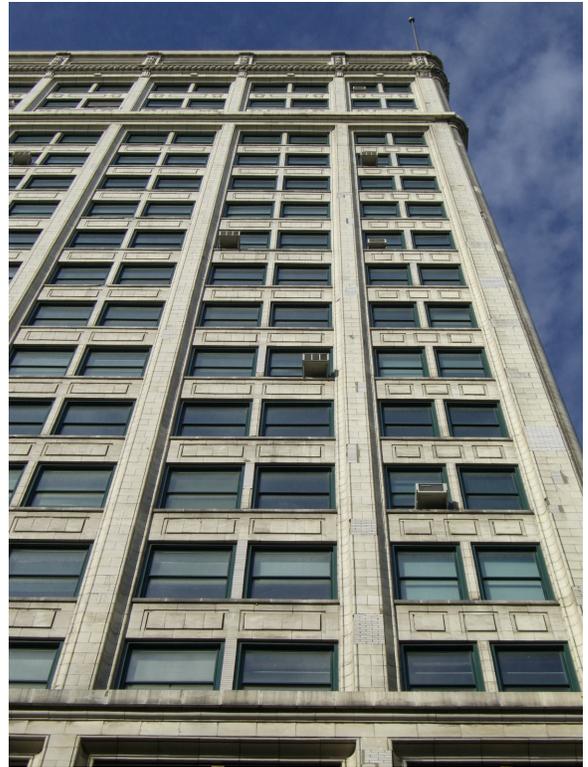


Image 28: Typical windows, floors 4 through 21, east and south façades.



Image 29: Typical Chicago windows floors 2 through 4, east and south façades.



Image 30: Typical windows, west façade.



Image 31: Main entry, east façade.



Image 32: Detail of original storefront frame.



Image 33: Existing revolving door.



Image 34: Existing hinged door.



Image 35: Existing first floor façade.



Image 36: Entry vestibule, view east from main lobby.



Image 37: Mirror within vestibule.



Image 38: Decorative grillwork, main lobby.



Image 39: Main lobby, view southwest.

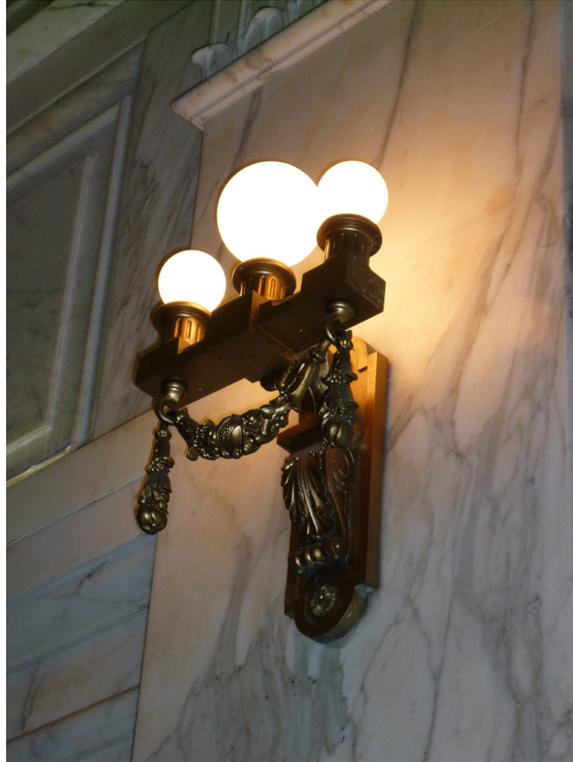


Image 40: Wall sconce, main lobby.



Image 41: Mailbox, in stairwell off of main lobby.



Image 42: Building directory, main lobby.



Image 43: Elevator call button, main lobby.



Image 44: Typical column capital, main lobby.



Image 45: Elevator sconce, main lobby.



Image 46: Elevator indicator, main lobby.



Image 47: 1st basement, decorative plasterwork.



Image 48: 1st basement, decorative plasterwork.



Image 49: 1st basement, decoration remaining on elevator wall and doors.



Image 50: 1st basement, decoration remaining on elevator wall and doors.



Image 51: 1st basement, plasterwork on ceiling.



Image 52: 1st basement, ceiling light fixture.



Image 53: 1st basement, statue niche.



Image 54: 1st basement, mosaic tile floor.



Image 55: East stair, first floor.



Image 56: East stair, transition between open first floor and enclosed stair.



Image 57: East stair, barrel vault between first floor and first basement.



Image 58: Decorative bracket, east stair, first floor.

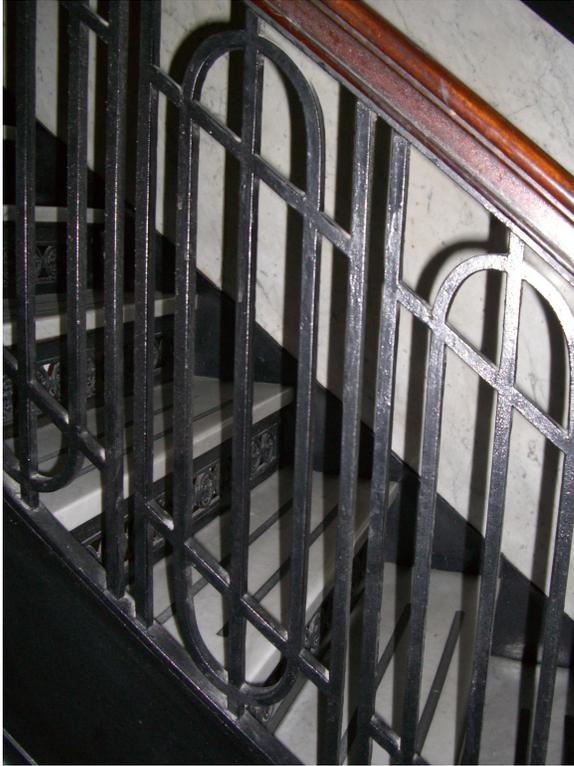


Image 59: East stair, cast iron balustrades and wood railing.



Image 60: East stair, original mosaic tile on upper landing.



Image 61: East stair, marble treads and cast iron risers.



Image 62: East stair, original mosaic tile on first basement landing.



Image 63: West stair, cast iron structure and marble treads.



Image 64: West stair, typical mosaic tile landing.



Image 65: West stair, slate treads between 22nd floor and roof.



Image 66: Covered storefront, typical of west stair floors 2 through 21.



Image 67: 20th floor, southeast office suite.



Image 68: 20th floor, southeast office suite.



Image 69: 20th floor, southeast office suite,
partition wall.



Image 70: 20th floor, southeast office suite,
partition wall.



Image 71: 20th floor, southeast office suite, partition wall.



Image 72: 20th floor, southeast office suite, parquet floor.



Image 73: 20th floor, southeast office suite, partition wall.



Image 74: 20th floor, southeast office suite.



Image 75: 20th floor, southeast office suite, water closet.



Image 76: 20th floor, southeast office suite, remaining radiator enclosure.



Image 77: Remaining storefront partition wall, main corridor 4th floor.



Image 78: Remaining storefront wall to west stair, 22nd floor.



Image 79: Remaining storefront wall, main corridor 13th floor.



Image 80: Remaining partition wall, east office, 14th floor.



Image 81: Covered storefront wall, main corridor, typical of floors 2 through 21.



Image 82: Original door design, main corridor.



Image 83: Fire hose closet, typical of floors 2 through 21.



Image 84: Marble-clad columns in main corridor, typical of floors 2 through 21.



Image 85: Freight elevator.



Image 86: Mail chute, east stair.



Image 87: Typical original door hardware.



Image 88: Original mail slot, typical of office doors along main corridor.



Image 89: 14th floor water closet, typical of several floors and offices.



Image 90: Typical restroom stall partitions.



Image 91: West windows, 21st floor. Typical of west façade.



Image 92: East and south windows, 13th floor. Typical of floors 5 through 21.



Image 93: North fire window, 7th floor.



Image 94: Chicago windows, 2nd floor. Typical of east and south façades, floors 2 through 4.



Image 95: Elevator equipment, freight elevator penthouse.



Image 96: Mechanical equipment, 22nd floor.



Image 97: Circuit box, 9th floor.



Image 98: Elevator equipment, 22nd floor.



Image 99: Rooftop, view west.

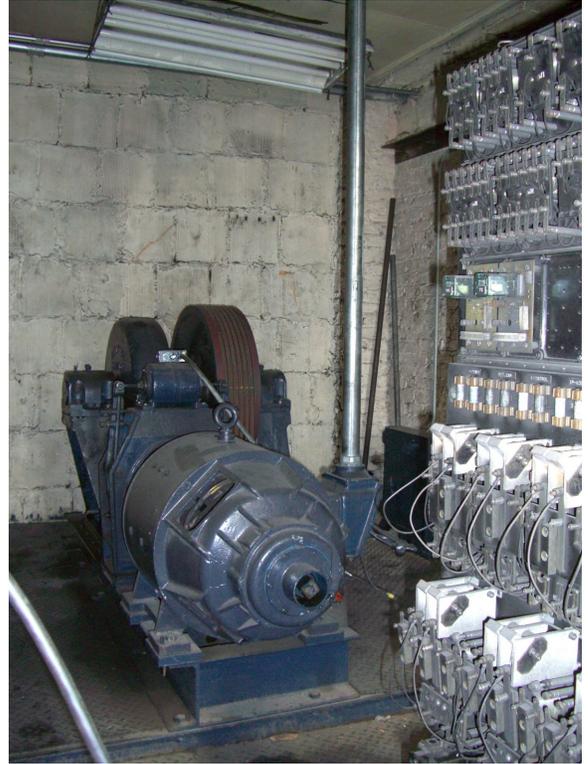


Image 100: Elevator equipment, freight elevator penthouse.



Image 101: Rooftop, view east.

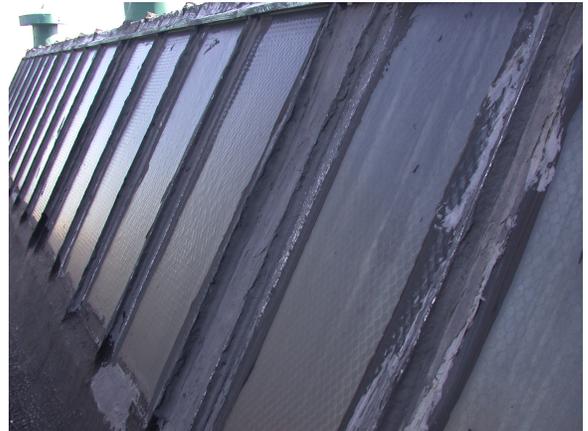


Image 102: Rooftop skylights, view west.

C. MAINTENANCE PHOTOS



Image 103: Mosaic tile floor, first basement.

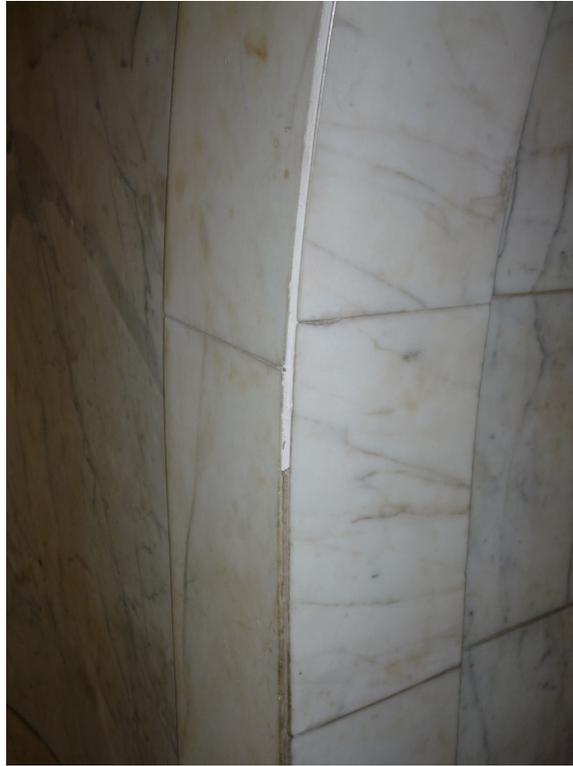


Image 104: Marble cladding, first floor lobby.



Image 105: Typical marble condition, elevator lobby, floors 2 through 21.



Image 106: Wear on marble stairs between first floor and first basement.



Image 107: Typical façade conditions showing varied types of patching repairs.



Image 108: One major terrazzo mar, first floor lobby.



Image 109: Worn terrazzo, main entry.



Image 110: Typical electric conduit/outlet, 20th floor, southeast suite.



Image 111: Rare inlaid floor condition, 20th floor, southeast suite.



Image 112: Typical condition of railing finish, east stair.



Image 113: West stair, typical condition from first basement to first floor.



Image 114: West stair, typical condition from first basement to first floor.



Image 115: Poor substitution of glazed brick for terra cotta, southwest corner.



Image 116: Poor substitution of glazed brick for terra cotta, east façade.



Image 117: Poor substitute cladding material and failure of surrounding terra cotta.

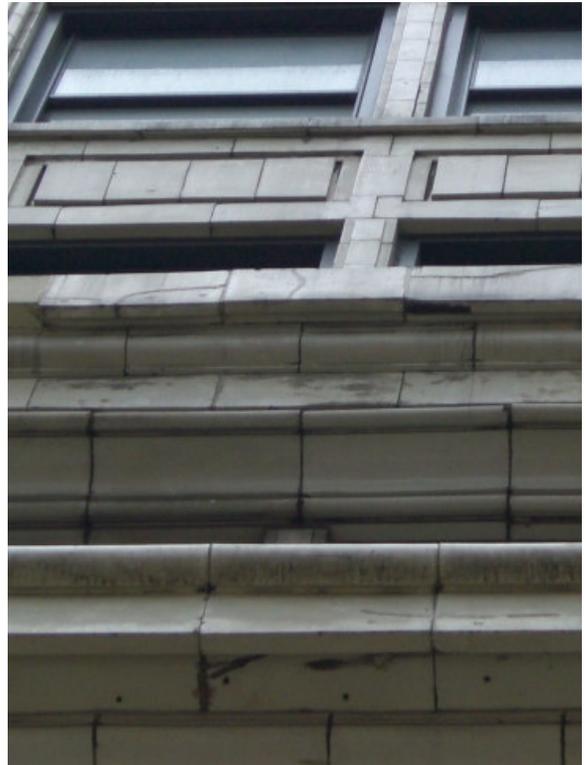


Image 118: Stresses in terra cotta resulting from anchor failure and stresses in wall.



Image 119: Unsightly mortar patch. Doomed to fail.



Image 120: Improper repair of failing terra cotta.



Image 121: Stresses in terra cotta due to anchor failure and stresses in wall. Poor substitution of glazed brick for terra cotta and improper patching also evident.



Image 122: Delamination of terra cotta due to stresses in the failing lintel.



Image 123: Delamination of terra cotta unit due to stresses in the failing lintel.



Image 124: Poor substitute cladding material and insensitive replacement of window.



Image 125: Crazing evident in glazed finish of masonry units throughout the facades.



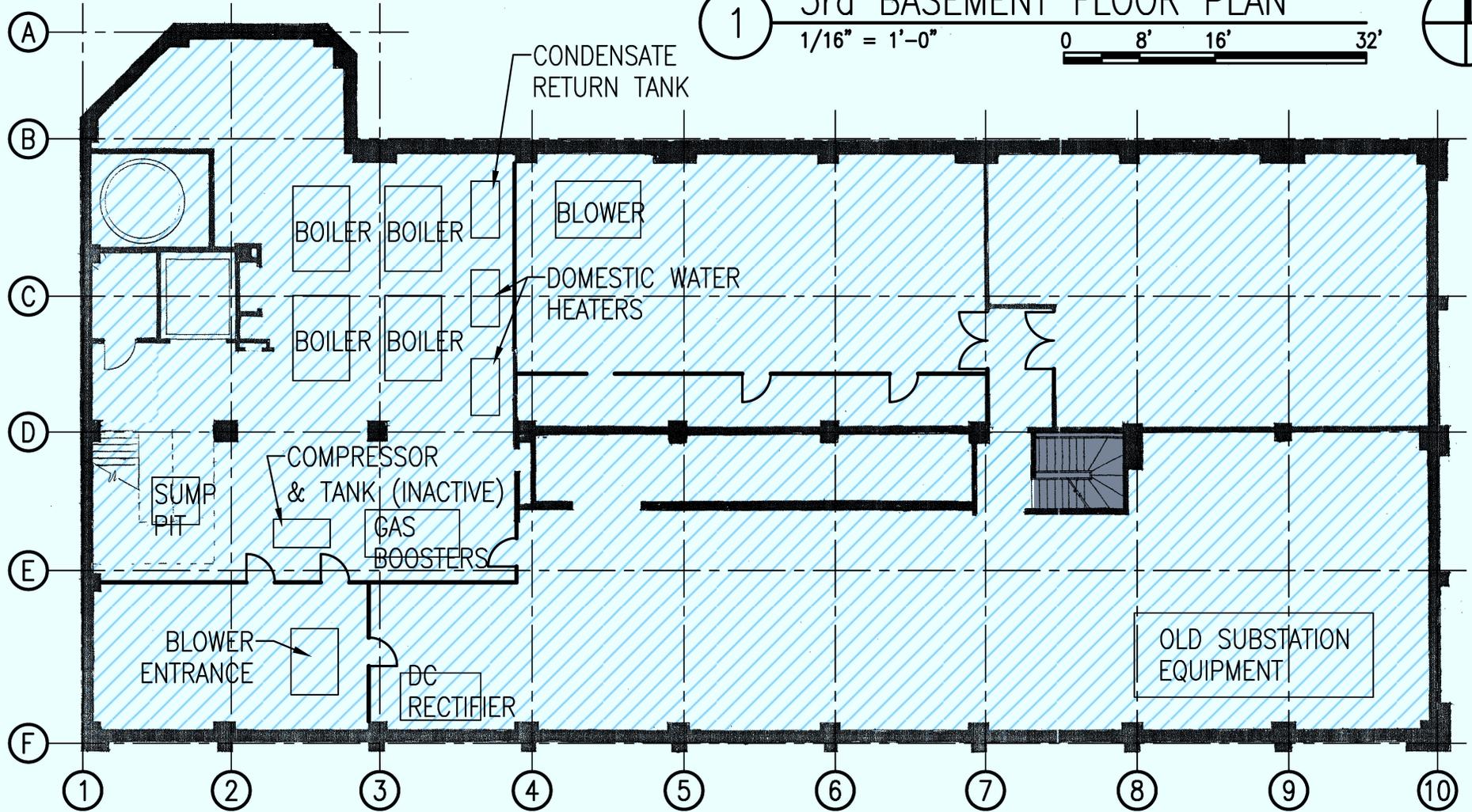
Image 126: Failing parapet corner with cracking evident in terra cotta.



D. Preservation Zoning

THIRD BASEMENT FLOOR PLAN DRAWING

1 3rd BASEMENT FLOOR PLAN
1/16" = 1'-0"



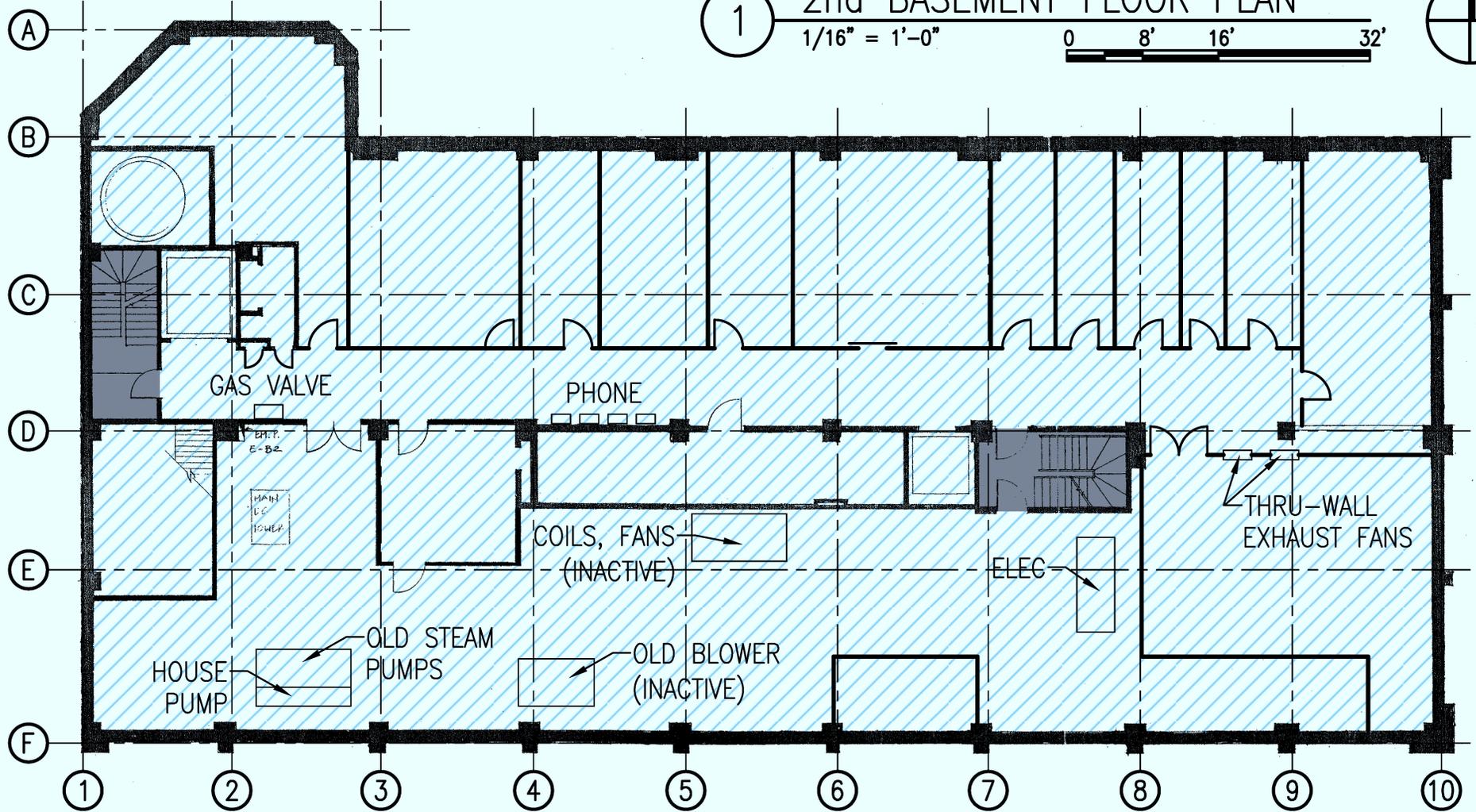
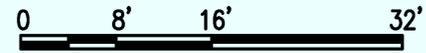
KEY:	ZONE 1 - RESTORATION ZONE	ZONE 3 - RENOVATION ZONE
	ZONE 2 - REHABILITATION ZONE	ZONE 4 - FREE ZONE



2ND BASEMENT FLOOR PLAN DRAWING

1 2nd BASEMENT FLOOR PLAN

1/16" = 1'-0"

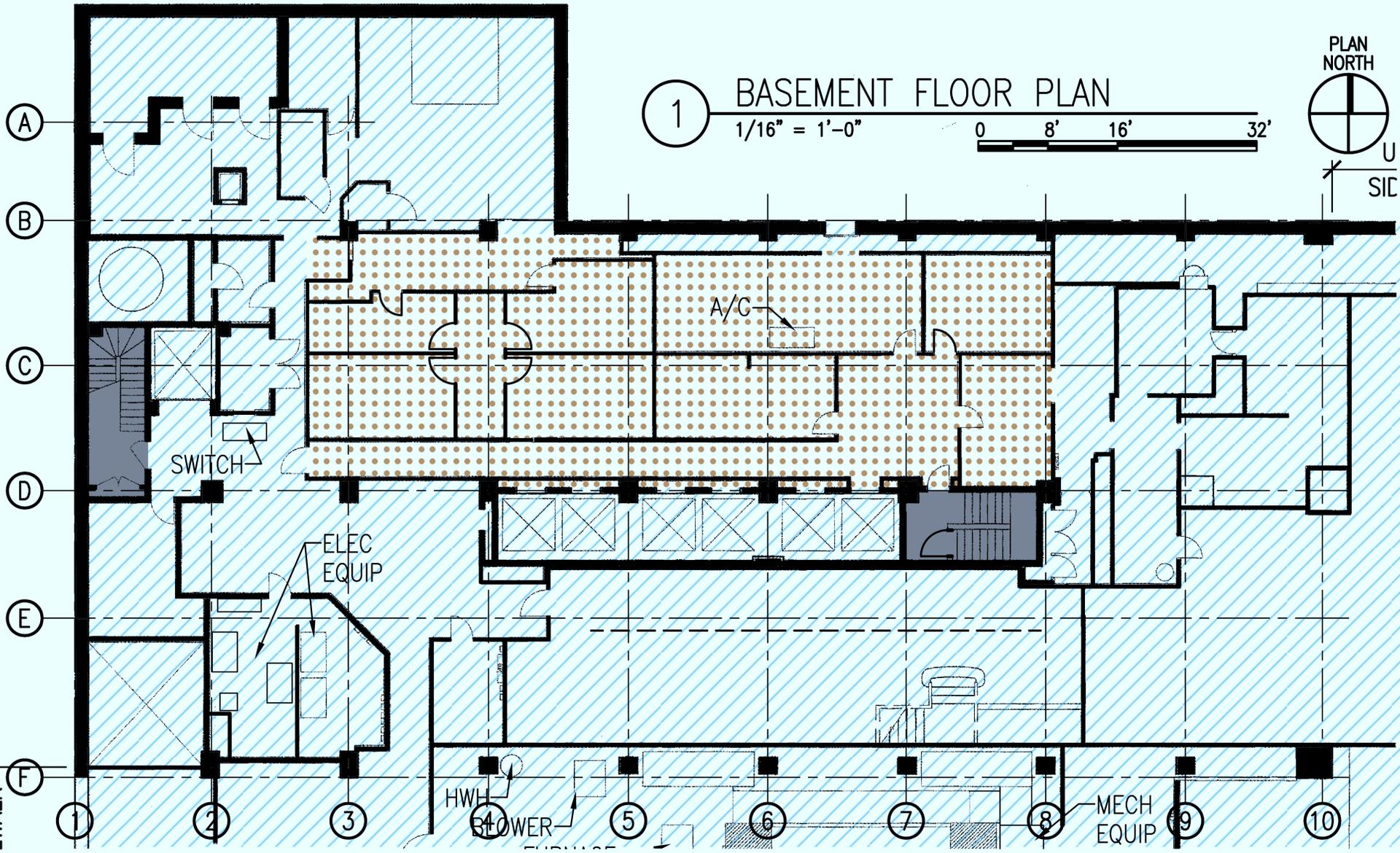


JLA

KEY:	ZONE 1 - RESTORATION ZONE	ZONE 3 - RENOVATION ZONE
	ZONE 2 - REHABILITATION ZONE	ZONE 4 - FREE ZONE

WMA

BASEMENT FLOOR PLAN DRAWING



JLA

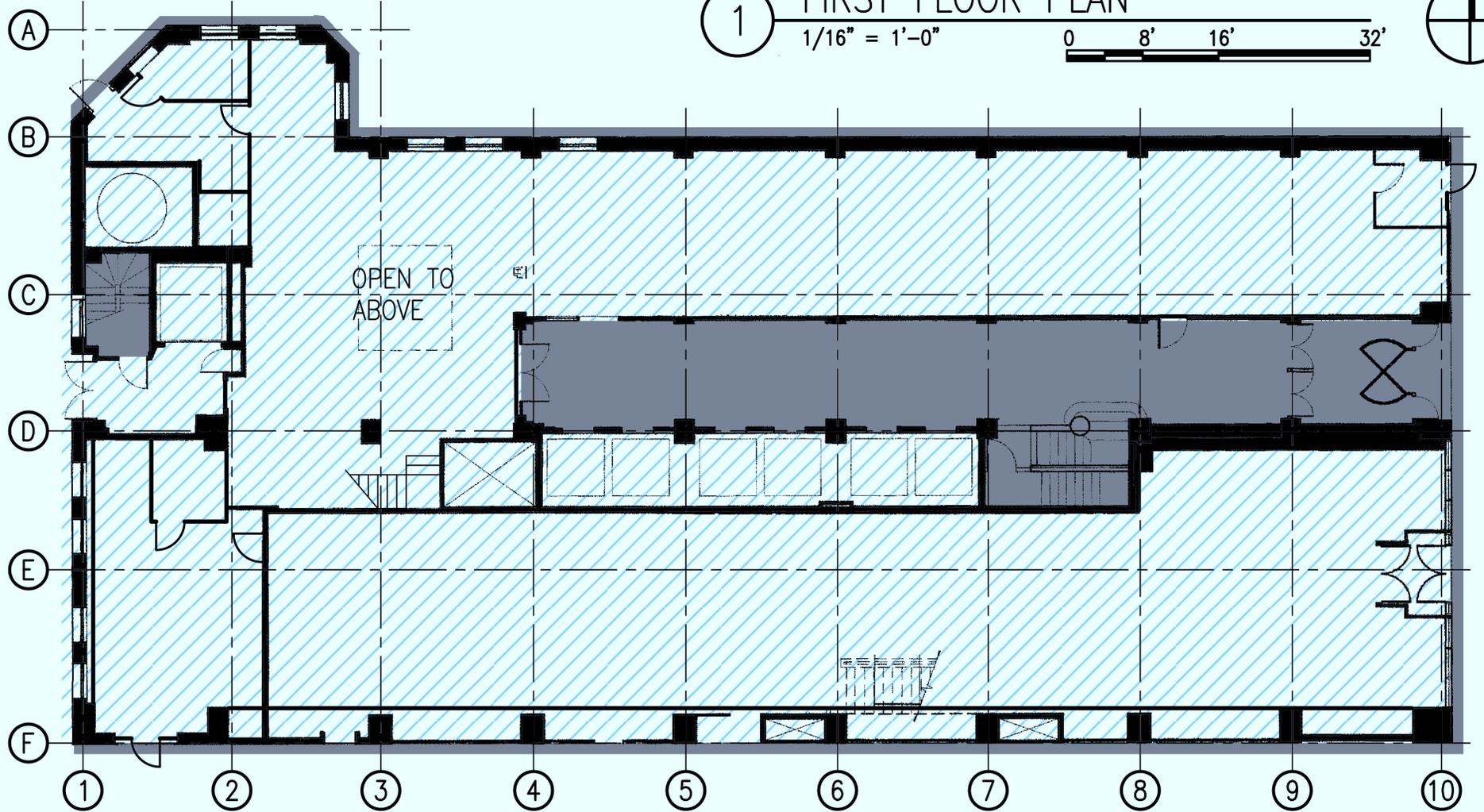
- KEY:
- ZONE 1 - RESTORATION ZONE
 - ZONE 3 - RENOVATION ZONE
 - ZONE 2 - REHABILITATION ZONE
 - ZONE 4 - FREE ZONE

WMA

FIRST FLOOR PLAN DRAWING

1 FIRST FLOOR PLAN

1/16" = 1'-0"



KEY:	ZONE 1 - RESTORATION ZONE	ZONE 3 - RENOVATION ZONE
	ZONE 2 - REHABILITATION ZONE	ZONE 4 - FREE ZONE

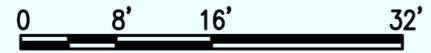


MEZZANINE FLOOR PLAN DRAWING

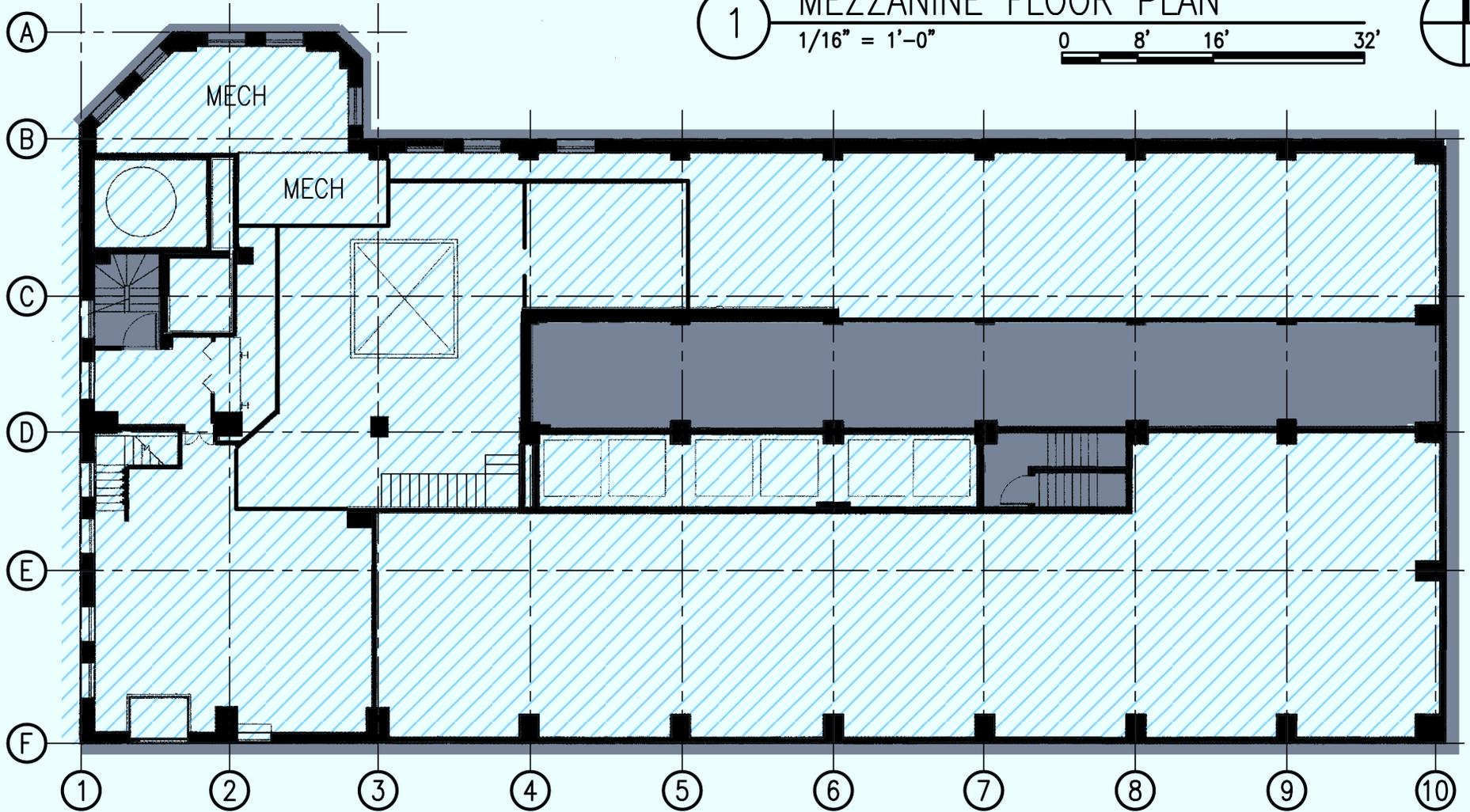
1

MEZZANINE FLOOR PLAN

1/16" = 1'-0"



PLAN NORTH



JLA

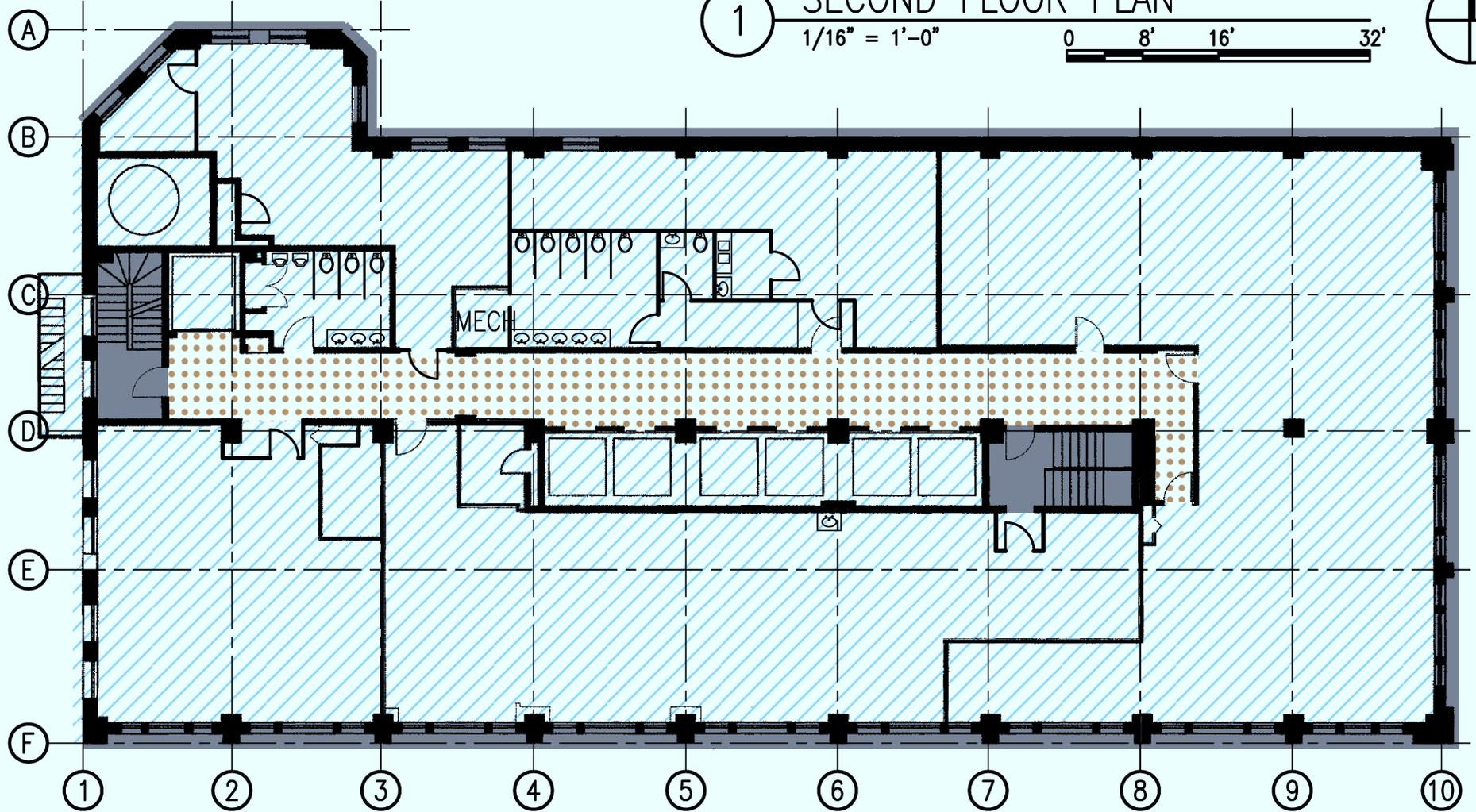
KEY: ZONE 1 - RESTORATION ZONE
 ZONE 2 - REHABILITATION ZONE

ZONE 3 - RENOVATION ZONE
 ZONE 4 - FREE ZONE

WMA

SECOND FLOOR PLAN DRAWING

1 SECOND FLOOR PLAN
1/16" = 1'-0"
0 8' 16' 32'



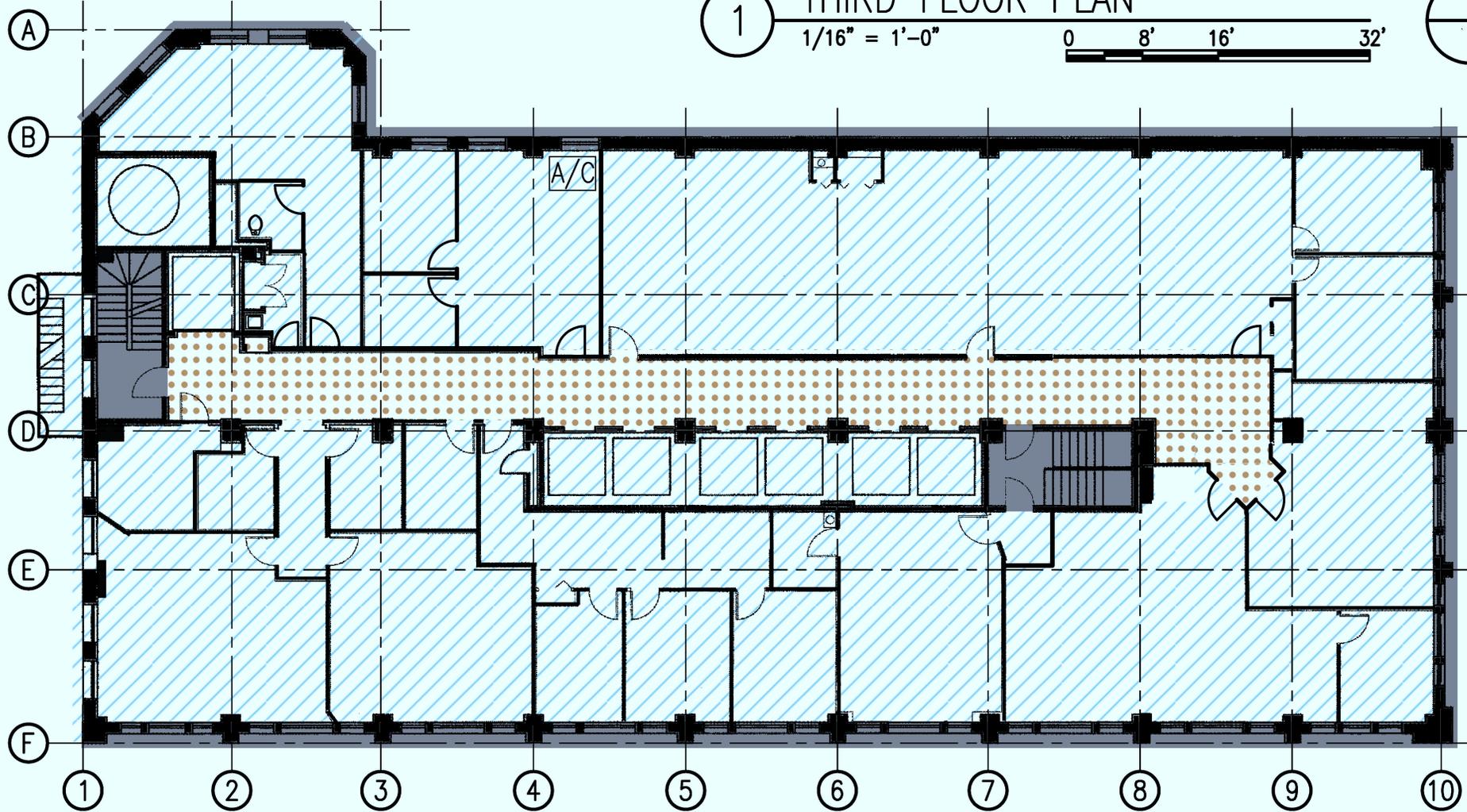
KEY:	ZONE 1 - RESTORATION ZONE	ZONE 3 - RENOVATION ZONE
	ZONE 2 - REHABILITATION ZONE	ZONE 4 - FREE ZONE



THIRD FLOOR PLAN DRAWING

1 THIRD FLOOR PLAN

1/16" = 1'-0"



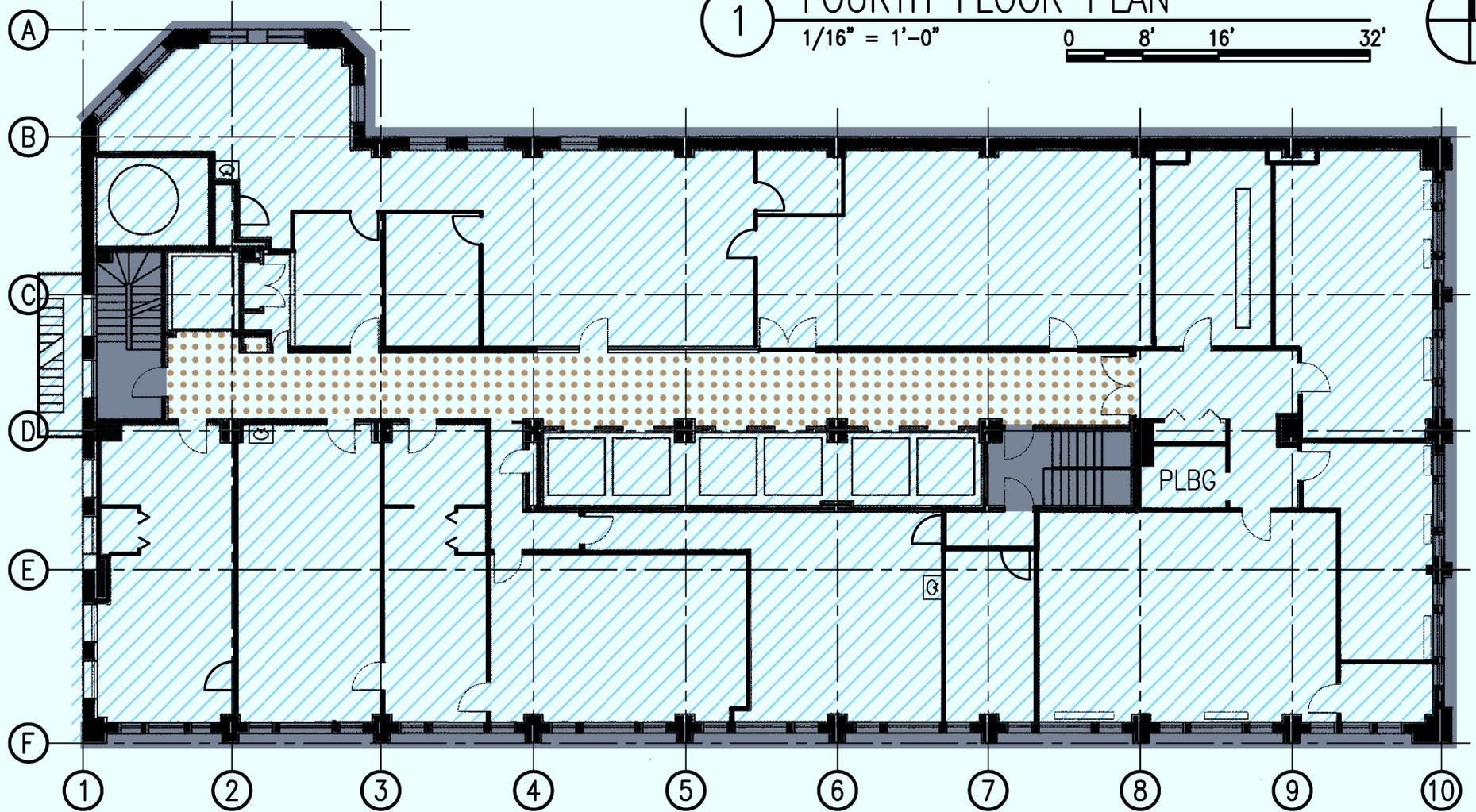
JLA

KEY:	ZONE 1 - RESTORATION ZONE	ZONE 3 - RENOVATION ZONE
	ZONE 2 - REHABILITATION ZONE	ZONE 4 - FREE ZONE

WMA

FOURTH FLOOR PLAN DRAWING

1 FOURTH FLOOR PLAN
1/16" = 1'-0"
0 8' 16' 32'



JLA

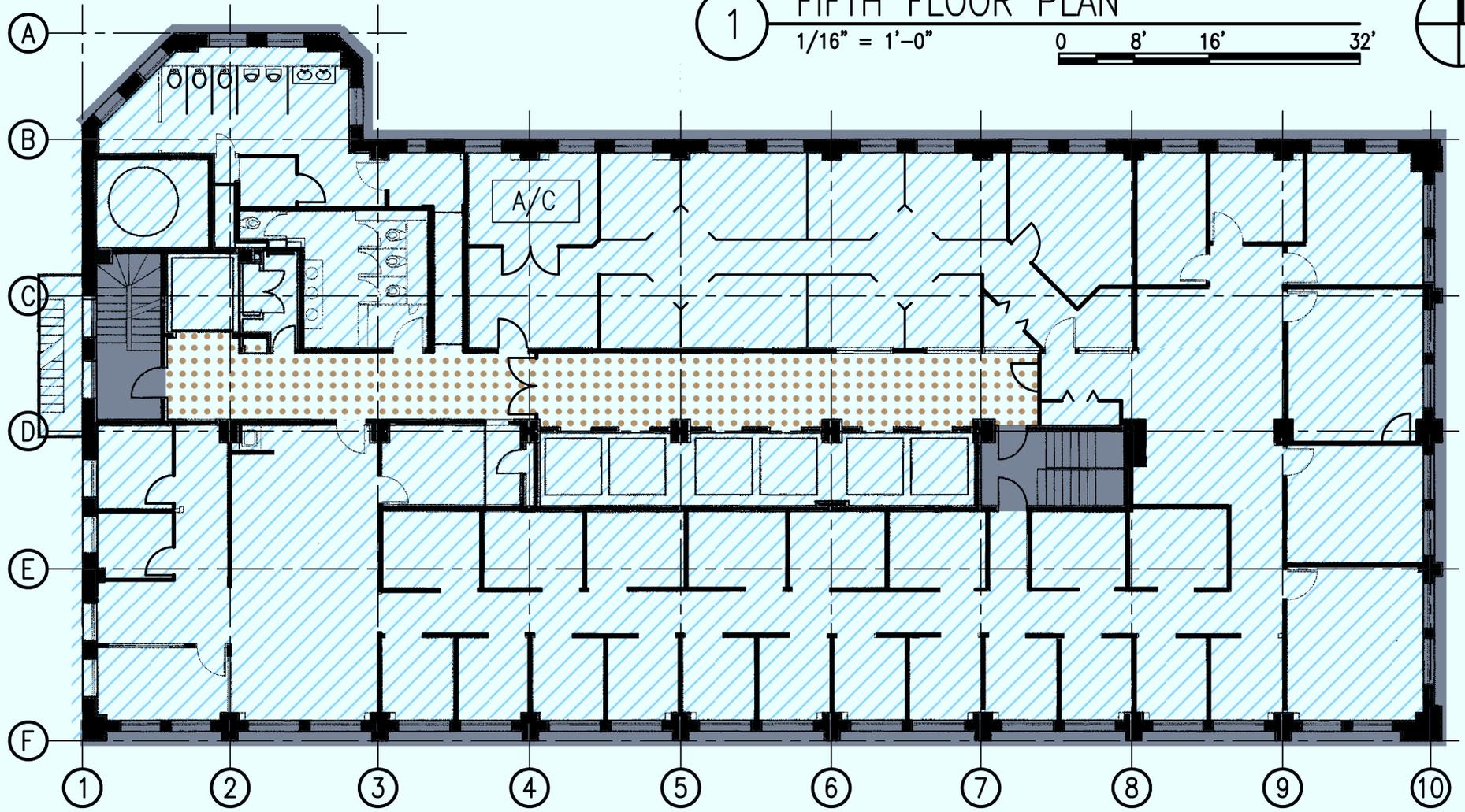
KEY:  ZONE 1 - RESTORATION ZONE  ZONE 3 - RENOVATION ZONE
 ZONE 2 - REHABILITATION ZONE  ZONE 4 - FREE ZONE

WMA

FIFTH FLOOR PLAN DRAWING

1 FIFTH FLOOR PLAN

1/16" = 1'-0"



JLA

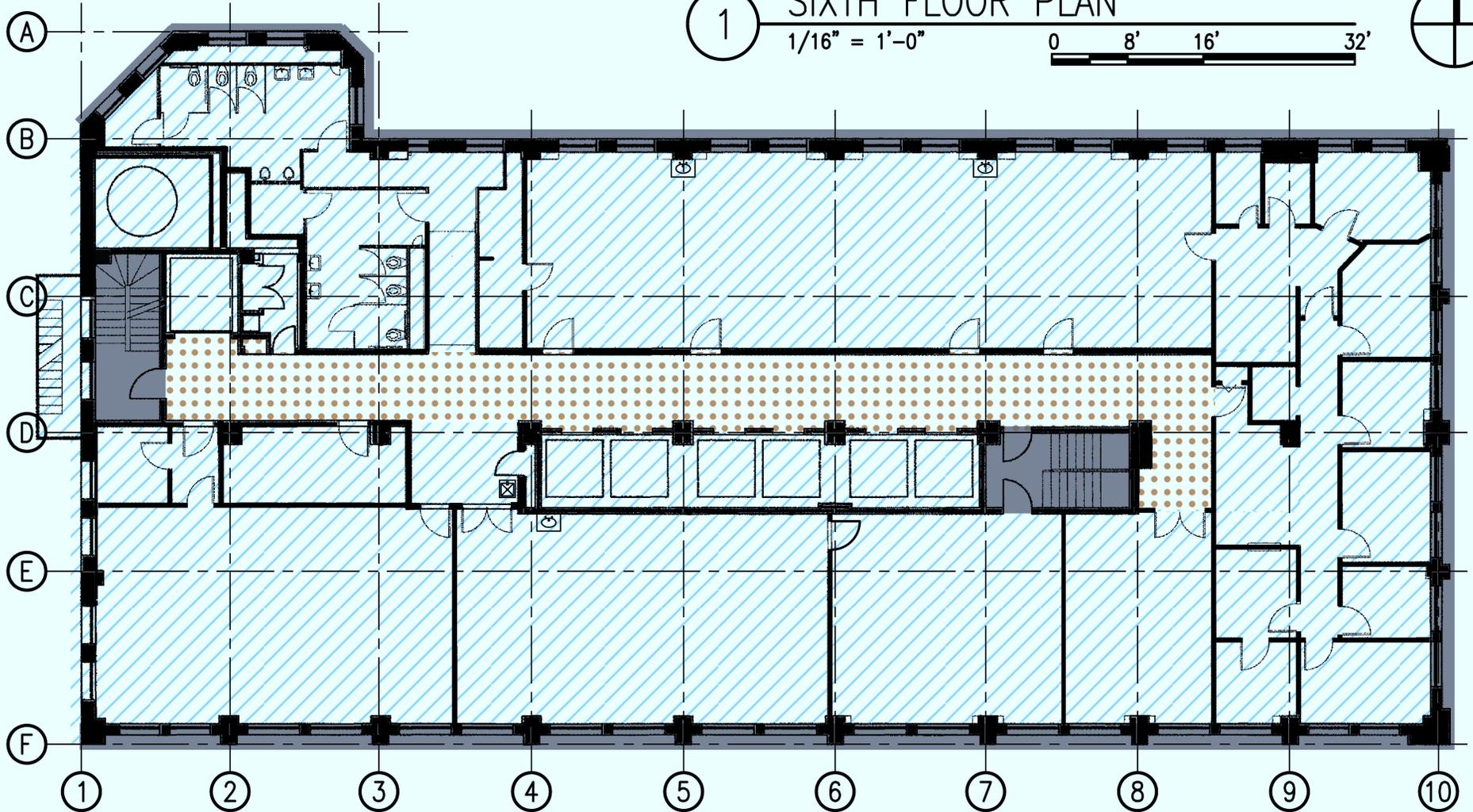
- KEY:
- ZONE 1 - RESTORATION ZONE
 - ZONE 2 - REHABILITATION ZONE
 - ZONE 3 - RENOVATION ZONE
 - ZONE 4 - FREE ZONE

WMA

SIXTH FLOOR PLAN DRAWING

1 SIXTH FLOOR PLAN

1/16" = 1'-0"



JLA

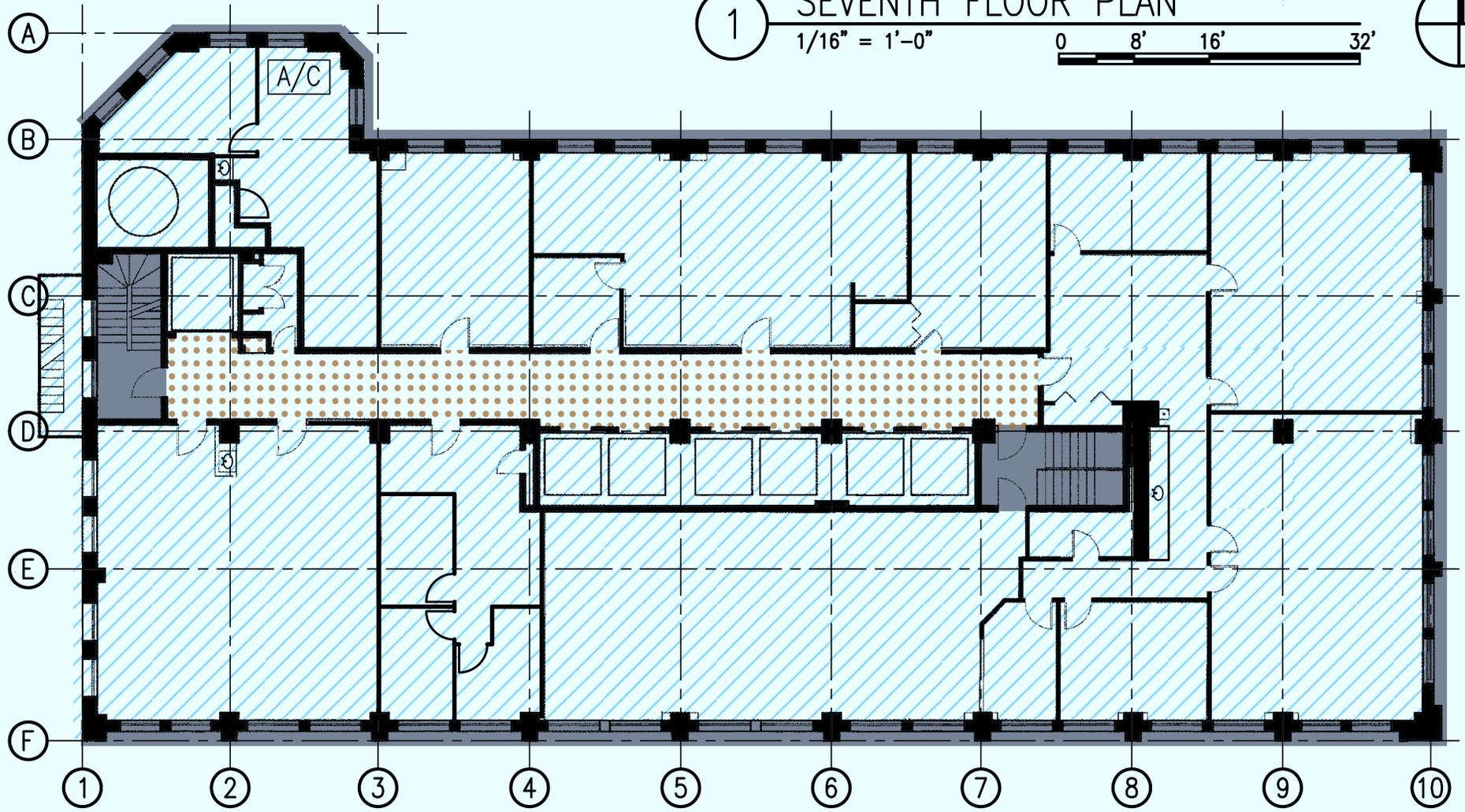
KEY:  ZONE 1 - RESTORATION ZONE
 ZONE 2 - REHABILITATION ZONE

 ZONE 3 - RENOVATION ZONE
 ZONE 4 - FREE ZONE

WMA

SEVENTH FLOOR PLAN DRAWING

1 SEVENTH FLOOR PLAN
1/16" = 1'-0"



KEY:	ZONE 1 - RESTORATION ZONE	ZONE 3 - RENOVATION ZONE
	ZONE 2 - REHABILITATION ZONE	ZONE 4 - FREE ZONE



EIGHTH FLOOR PLAN DRAWING

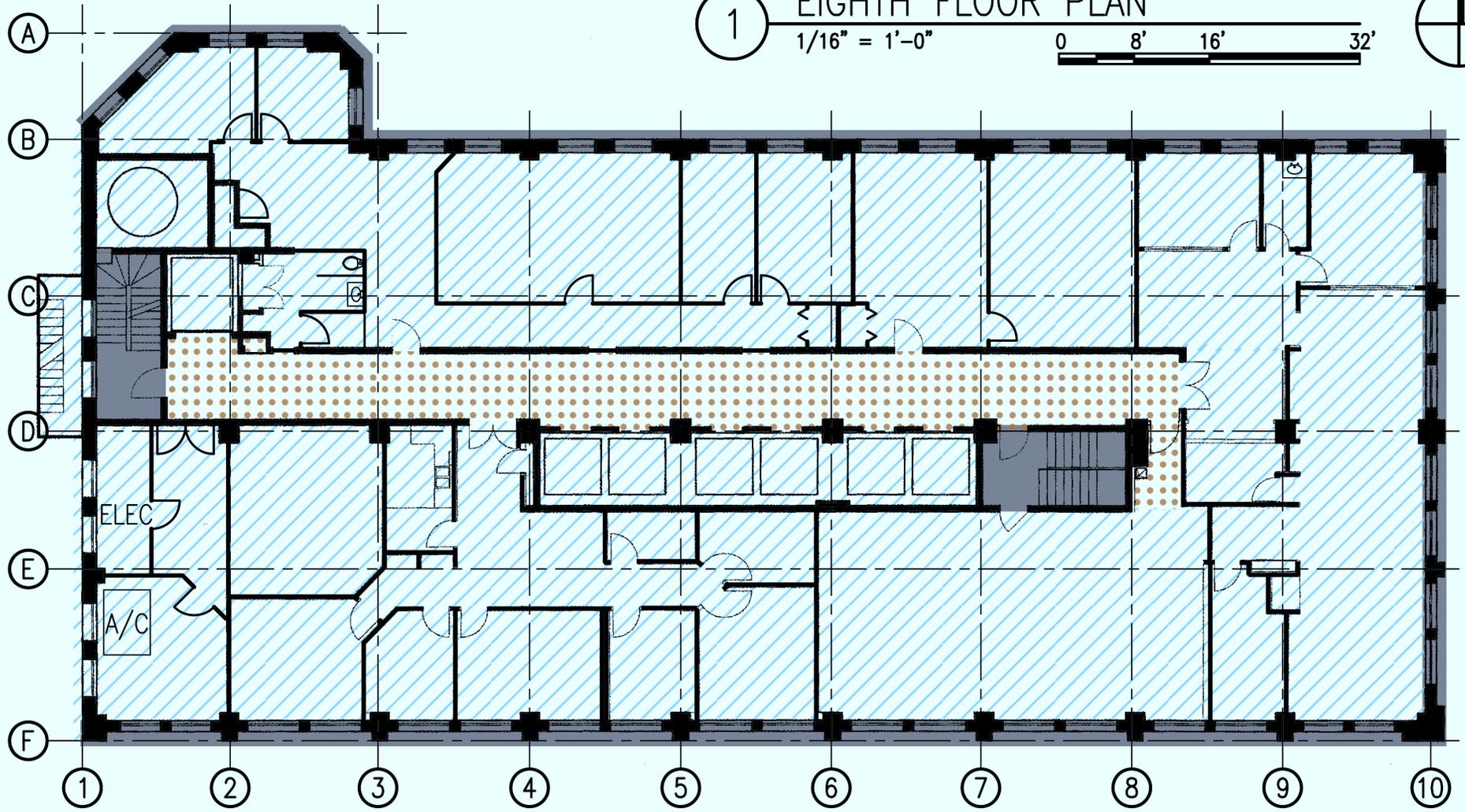
1

EIGHTH FLOOR PLAN

1/16" = 1'-0"



PLAN NORTH



JLA

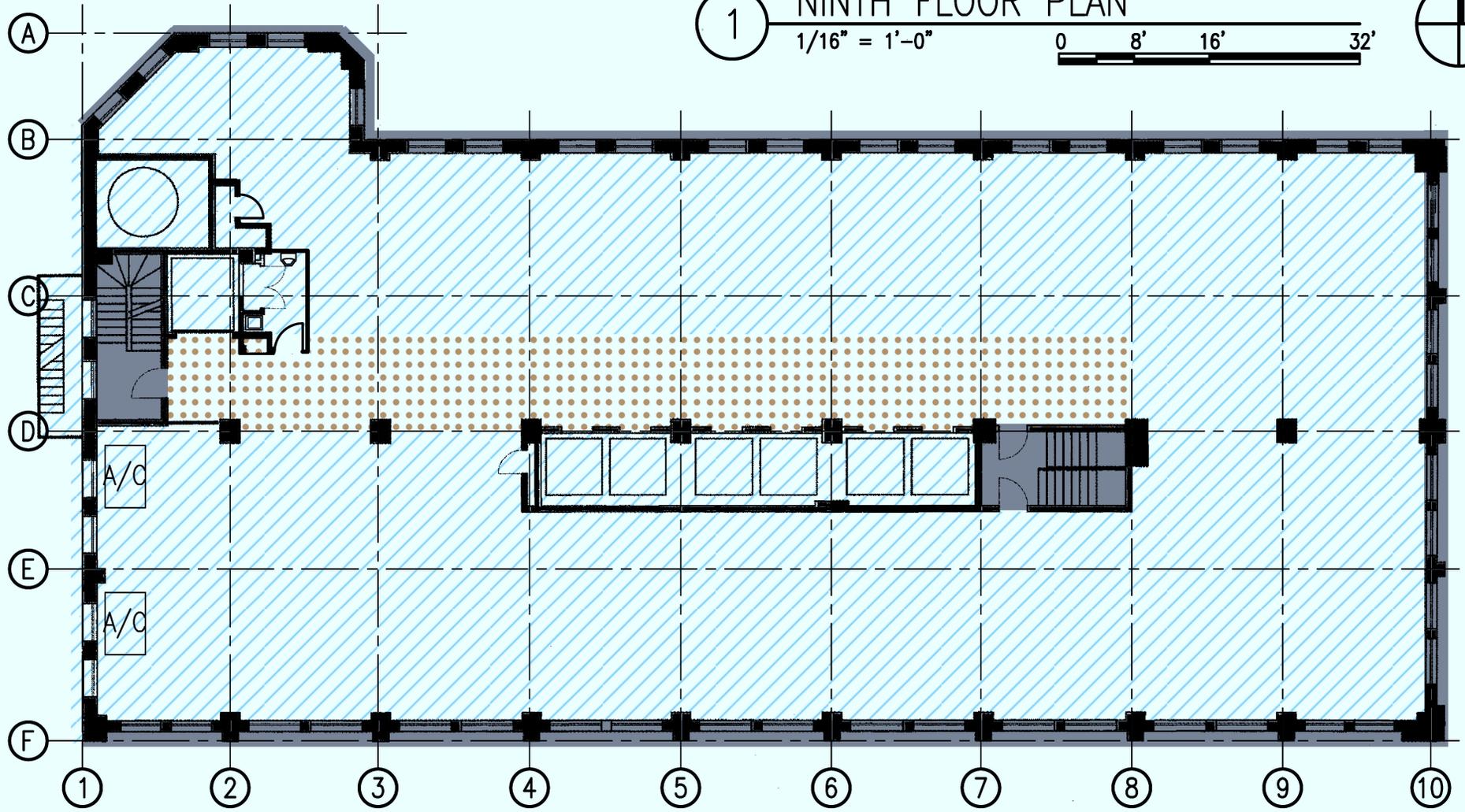
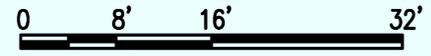
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	ZONE 2 - REHABILITATION ZONE	ZONE 4 - FREE ZONE

WMA

NINTH FLOOR PLAN DRAWING

1 NINTH FLOOR PLAN

1/16" = 1'-0"



JLA

KEY:	ZONE 1 - RESTORATION ZONE	ZONE 3 - RENOVATION ZONE
	ZONE 2 - REHABILITATION ZONE	ZONE 4 - FREE ZONE

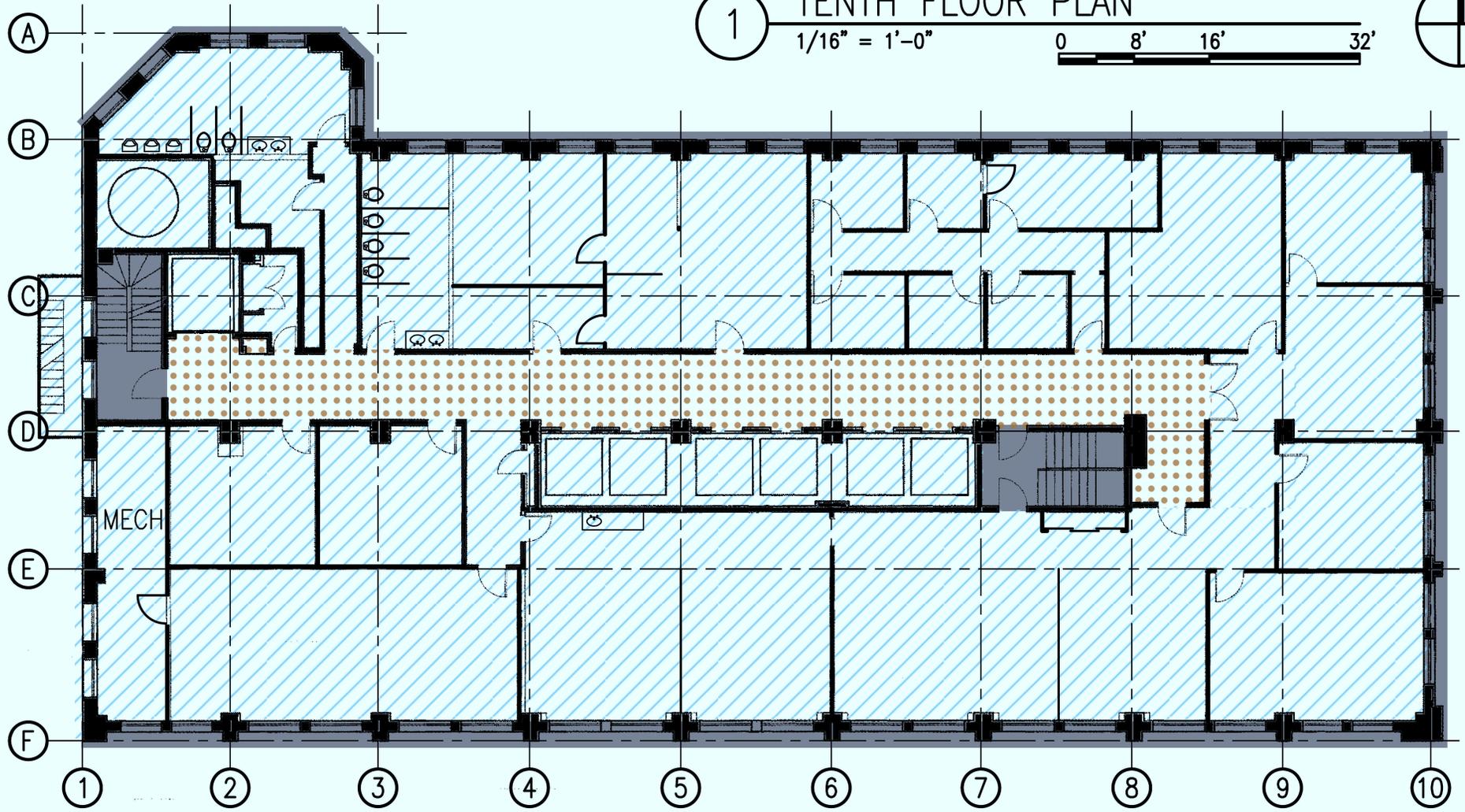
WMA

TENTH FLOOR PLAN DRAWING

1

TENTH FLOOR PLAN

1/16" = 1'-0"



JLA

- KEY:
- ZONE 1 - RESTORATION ZONE
 - ZONE 2 - REHABILITATION ZONE
 - ZONE 3 - RENOVATION ZONE
 - ZONE 4 - FREE ZONE

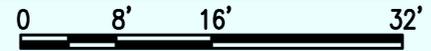
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ELEVENTH FLOOR PLAN DRAWING

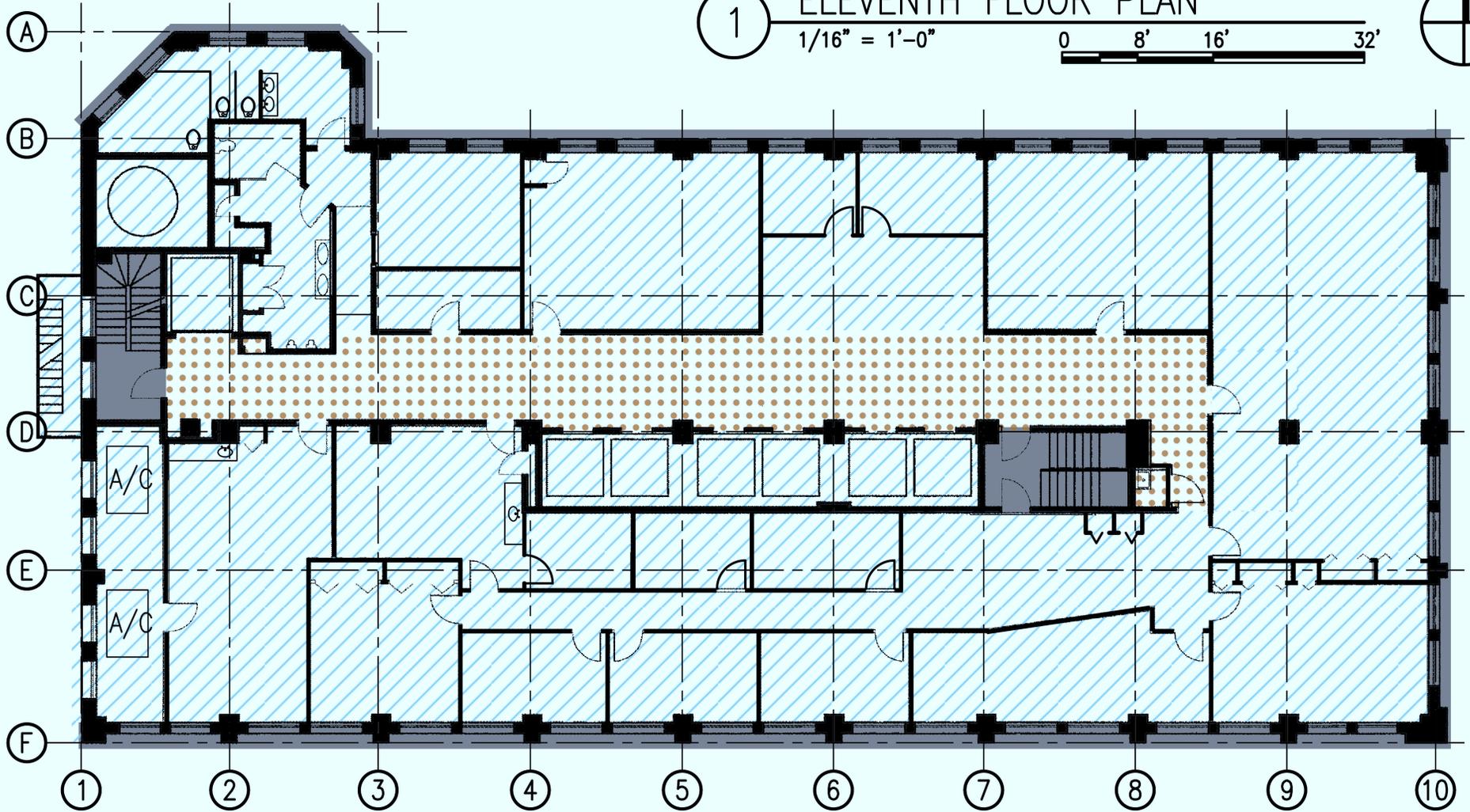
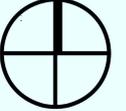
1

ELEVENTH FLOOR PLAN

1/16" = 1'-0"



PLAN NORTH



JLA

KEY:  ZONE 1 - RESTORATION ZONE
 ZONE 2 - REHABILITATION ZONE

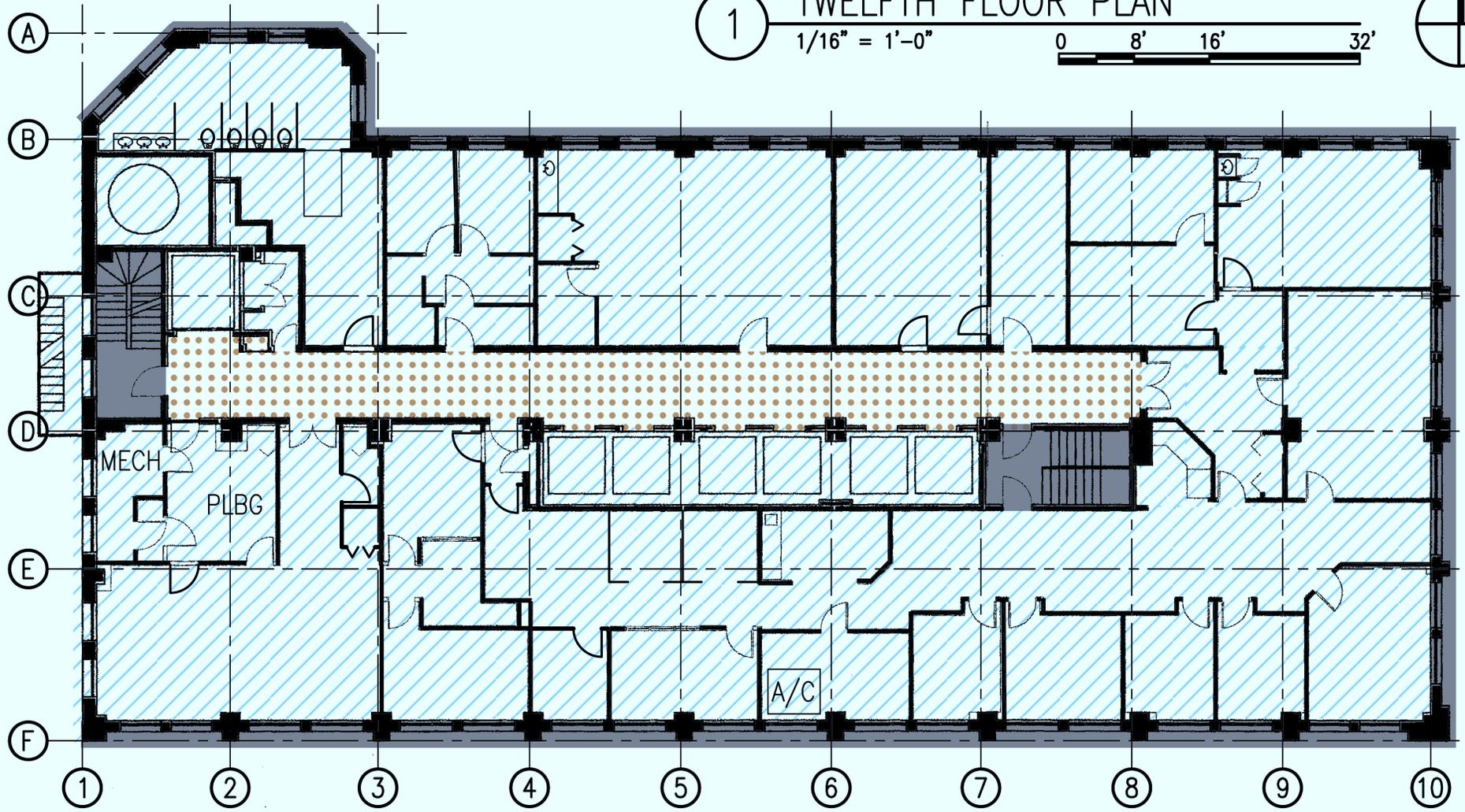
 ZONE 3 - RENOVATION ZONE
 ZONE 4 - FREE ZONE

WMA

TWELFTH FLOOR PLAN DRAWING

1 TWELFTH FLOOR PLAN

1/16" = 1'-0"



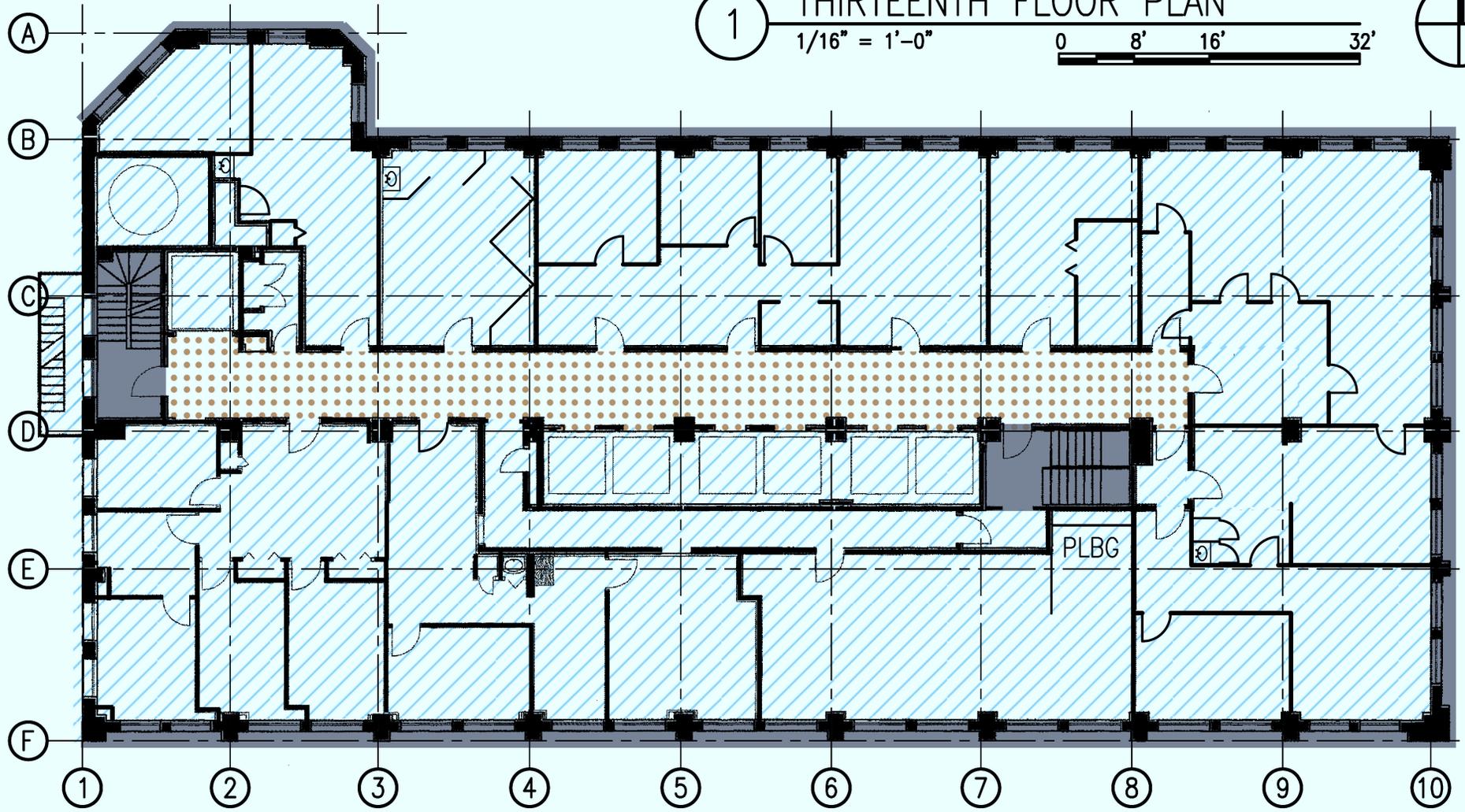
JLA

KEY:	 ZONE 1 - RESTORATION ZONE	 ZONE 3 - RENOVATION ZONE
	 ZONE 2 - REHABILITATION ZONE	 ZONE 4 - FREE ZONE

WMA

THIRTEENTH FLOOR PLAN DRAWING

1 THIRTEENTH FLOOR PLAN
1/16" = 1'-0"
0 8' 16' 32'

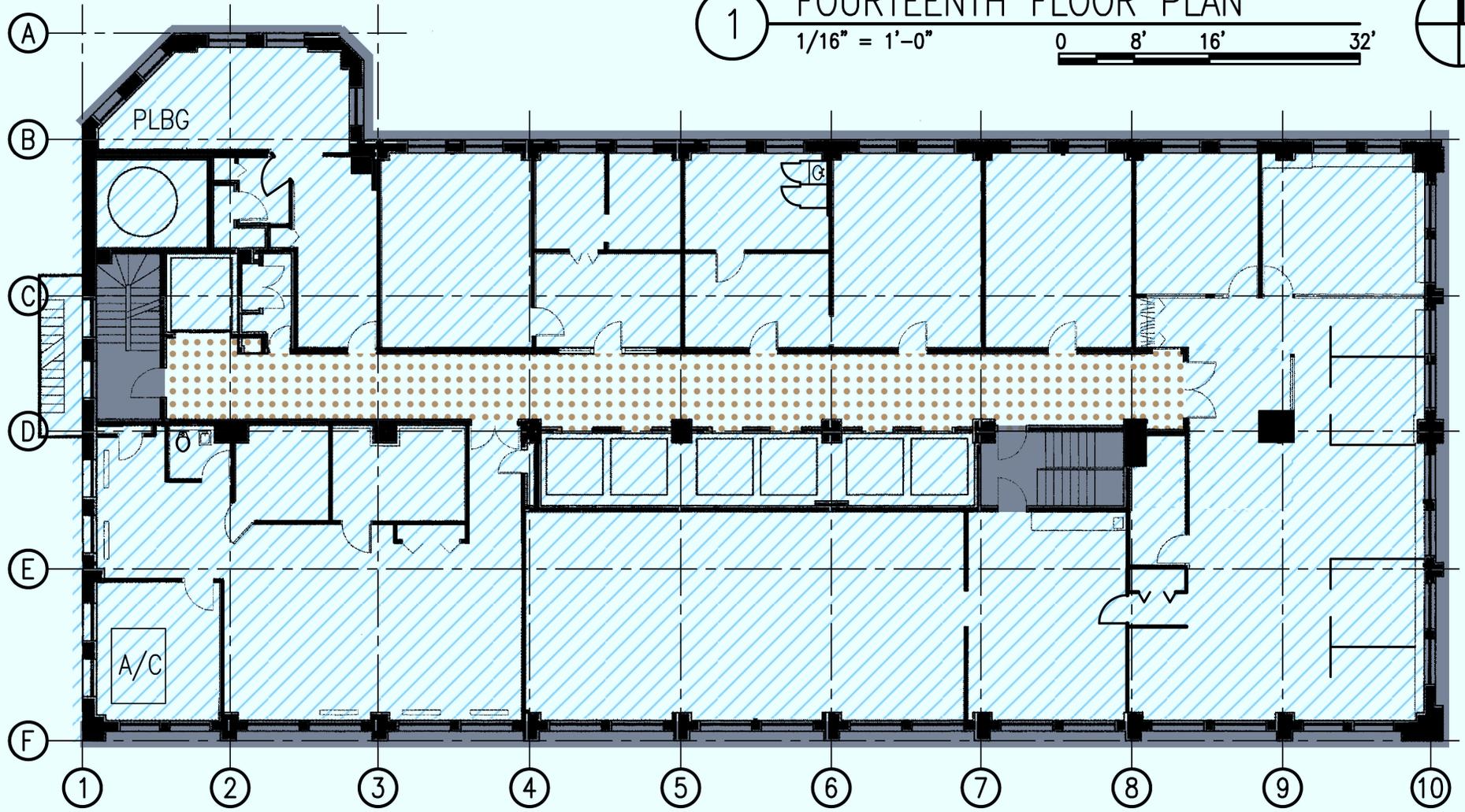


KEY:	ZONE 1 - RESTORATION ZONE	ZONE 3 - RENOVATION ZONE
	ZONE 2 - REHABILITATION ZONE	ZONE 4 - FREE ZONE



FOURTEENTH FLOOR PLAN DRAWING

1 FOURTEENTH FLOOR PLAN
1/16" = 1'-0"
0 8' 16' 32'

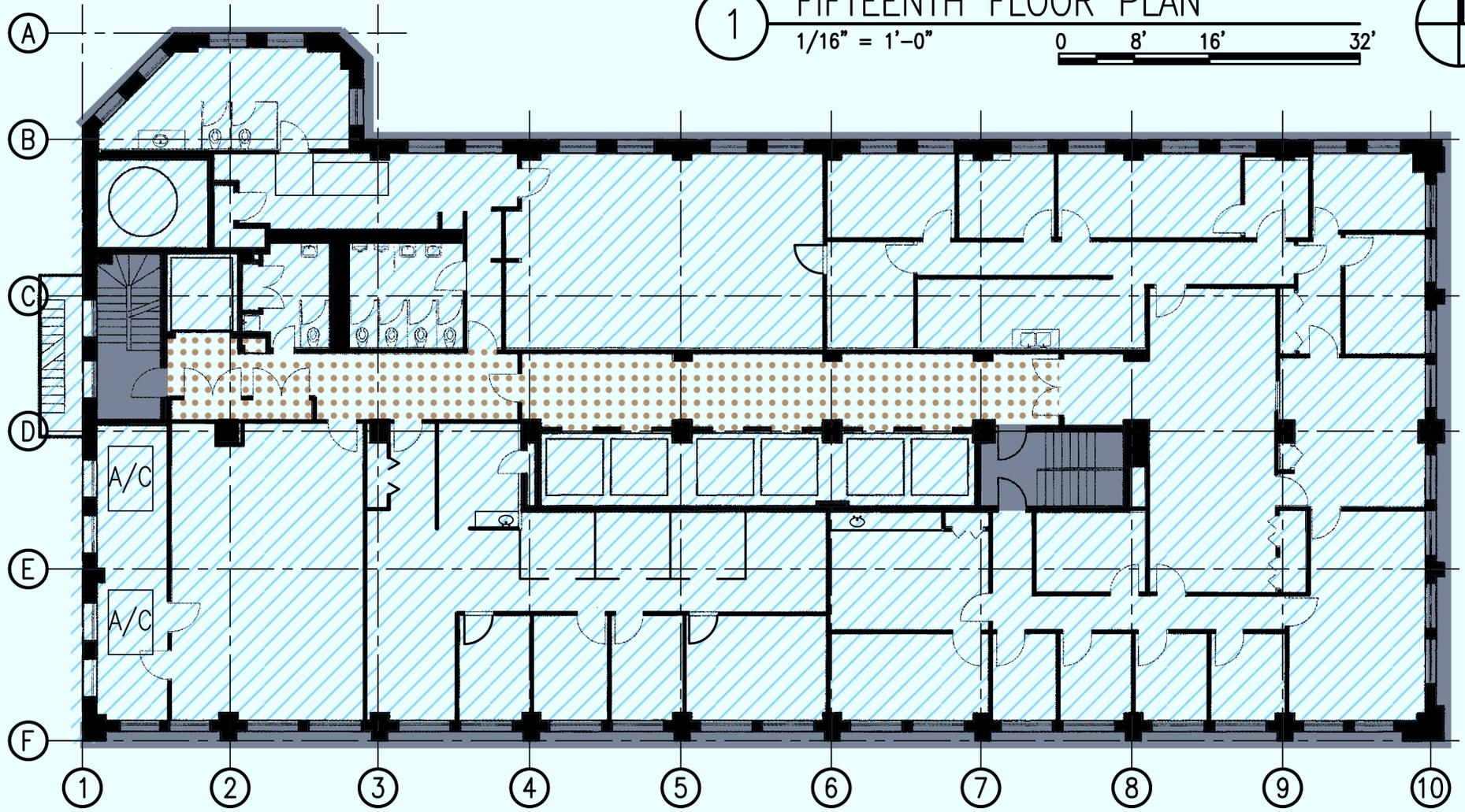


KEY:	ZONE 1 - RESTORATION ZONE	ZONE 3 - RENOVATION ZONE
	ZONE 2 - REHABILITATION ZONE	ZONE 4 - FREE ZONE



FIFTEENTH FLOOR PLAN DRAWING

1 FIFTEENTH FLOOR PLAN
 1/16" = 1'-0"
 0 8' 16' 32'



JLA

- KEY:
- ZONE 1 - RESTORATION ZONE
 - ZONE 3 - RENOVATION ZONE
 - ZONE 2 - REHABILITATION ZONE
 - ZONE 4 - FREE ZONE

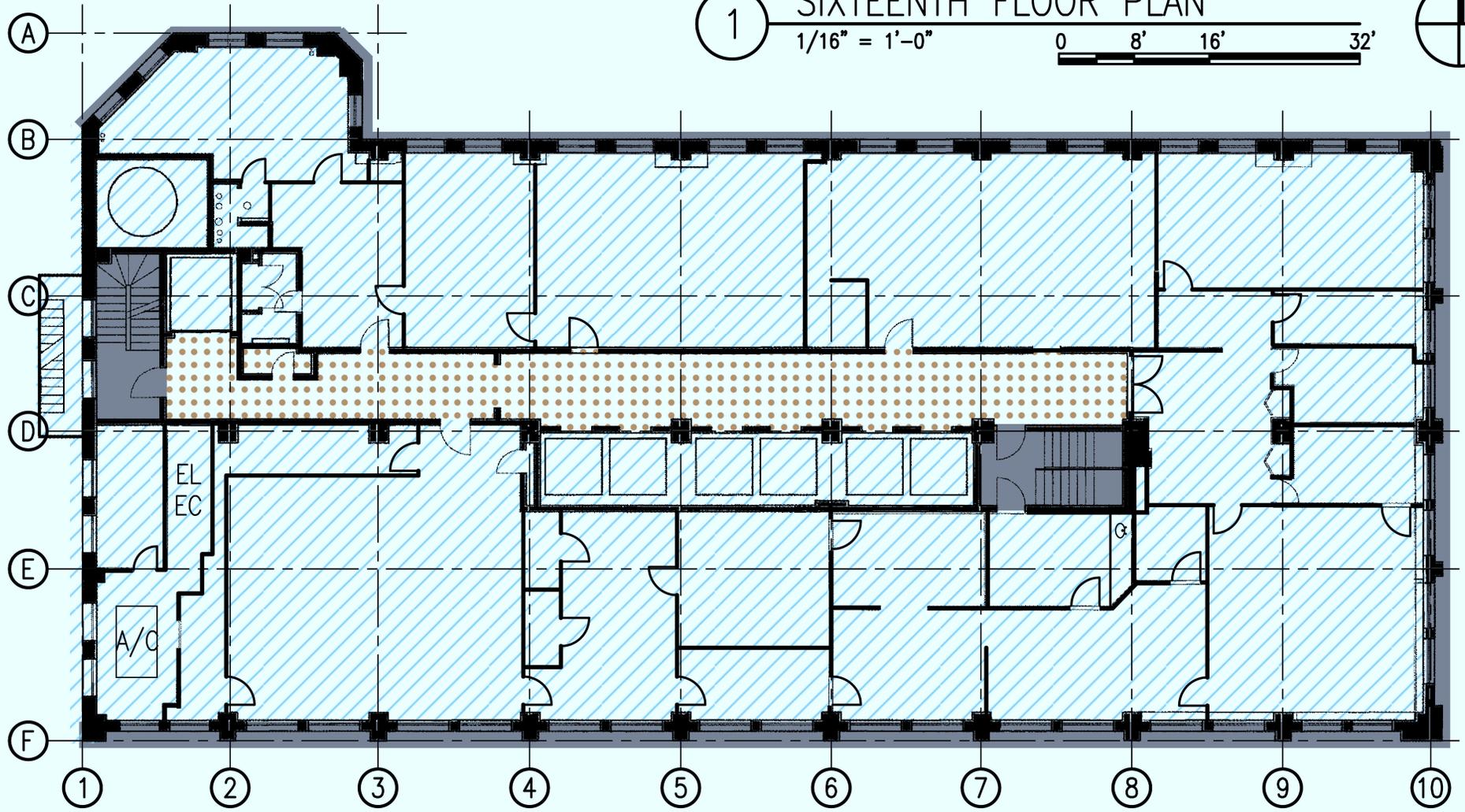
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SIXTEENTH FLOOR PLAN DRAWING

1

SIXTEENTH FLOOR PLAN

1/16" = 1'-0"



JLA

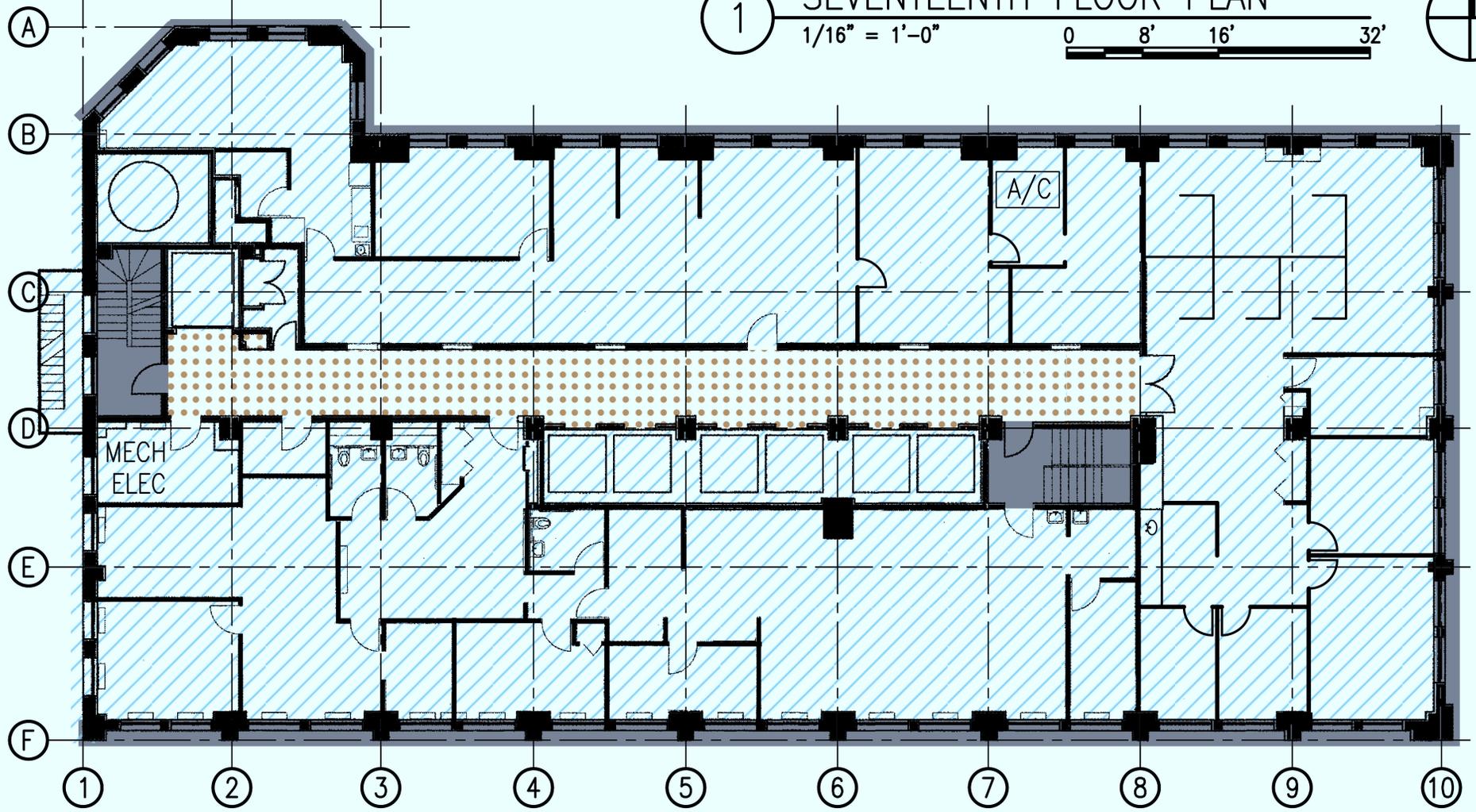
KEY:	ZONE 1 - RESTORATION ZONE	ZONE 3 - RENOVATION ZONE
	ZONE 2 - REHABILITATION ZONE	ZONE 4 - FREE ZONE

WMA

SEVENTEENTH FLOOR PLAN DRAWING

1 SEVENTEENTH FLOOR PLAN

1/16" = 1'-0"



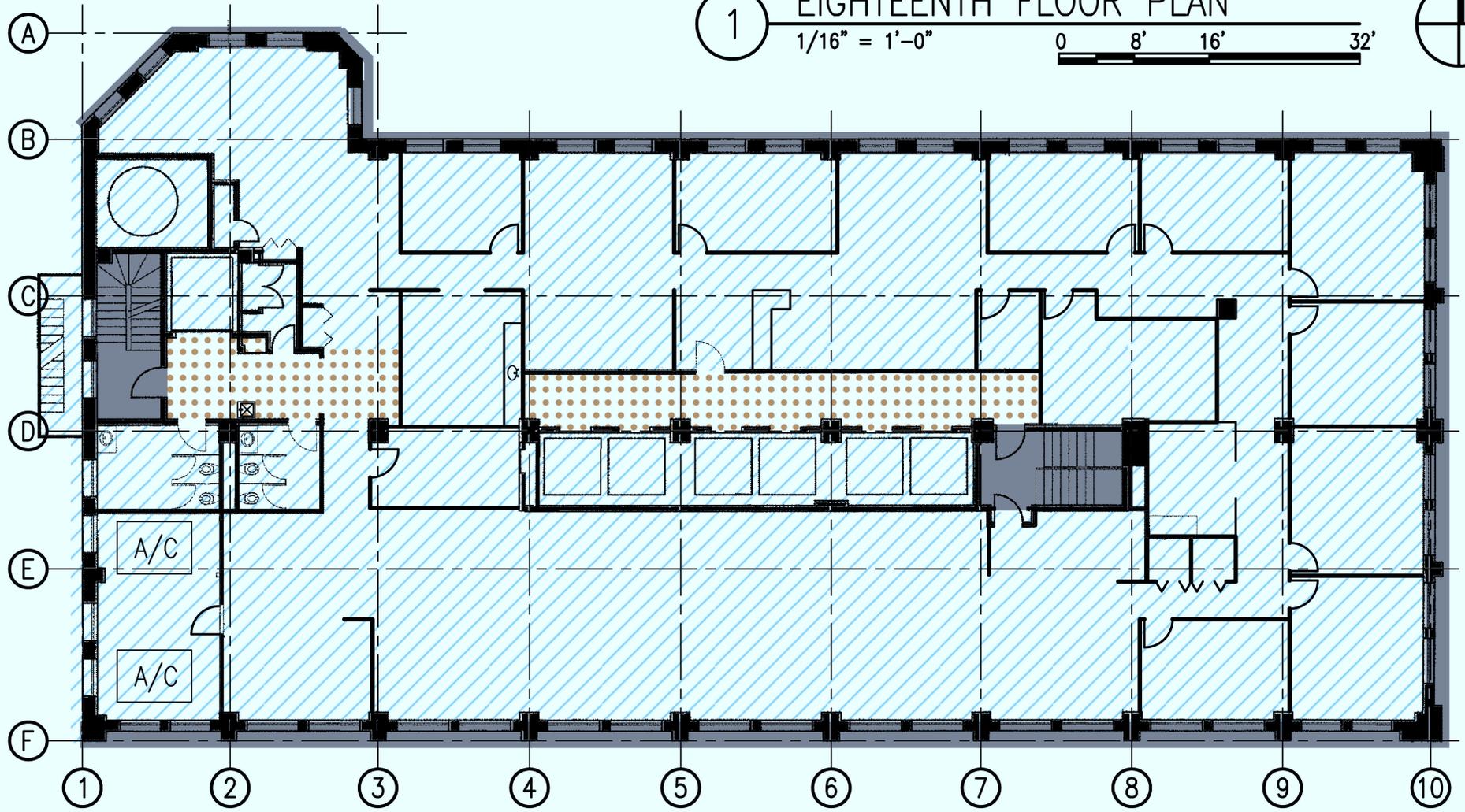
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KEY:	ZONE 1 - RESTORATION ZONE	ZONE 3 - RENOVATION ZONE
	ZONE 2 - REHABILITATION ZONE	ZONE 4 - FREE ZONE

WMA

EIGHTEENTH FLOOR PLAN DRAWING

1 EIGHTEENTH FLOOR PLAN
1/16" = 1'-0"
0 8' 16' 32'



KEY:	ZONE 1 - RESTORATION ZONE	ZONE 3 - RENOVATION ZONE
	ZONE 2 - REHABILITATION ZONE	ZONE 4 - FREE ZONE

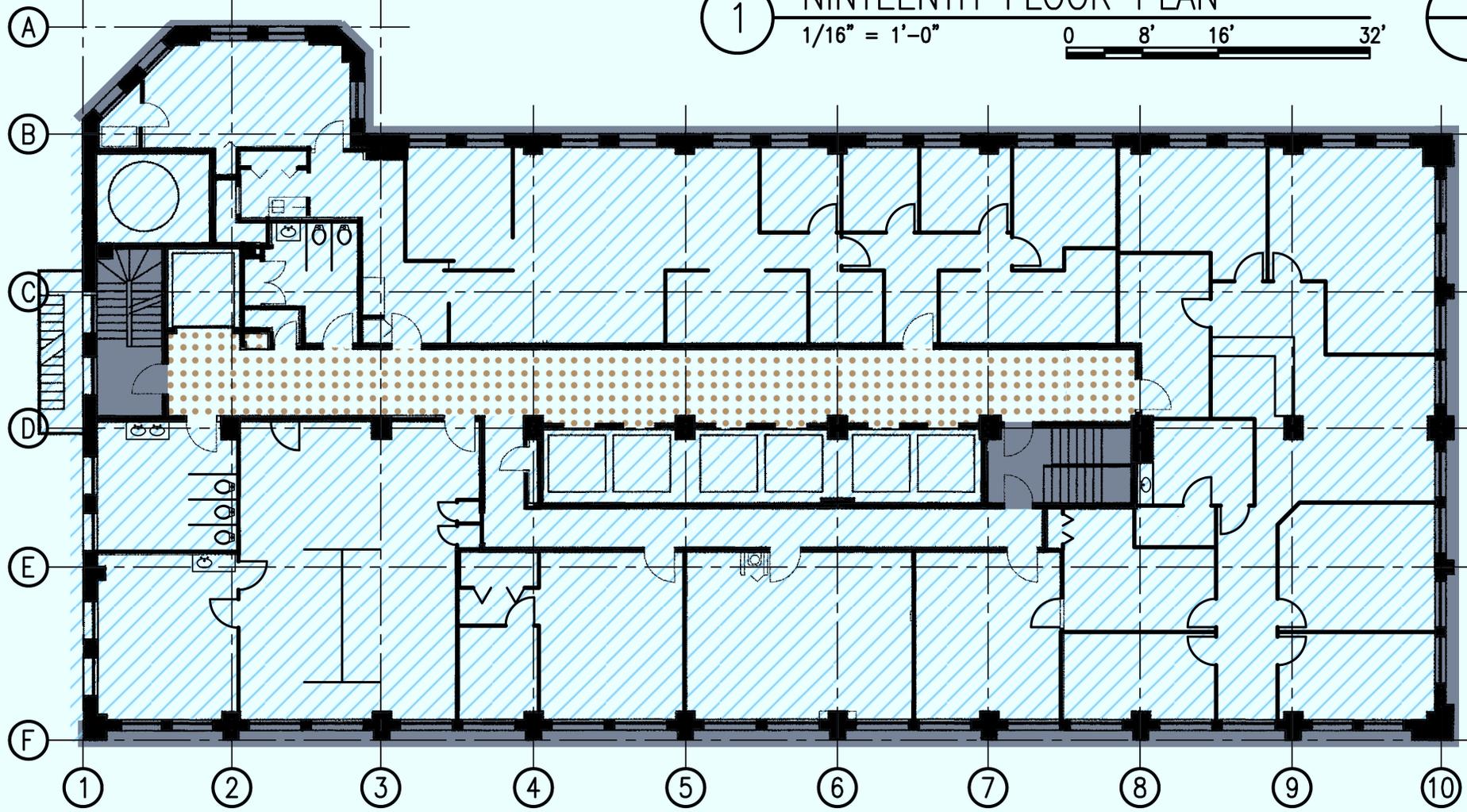
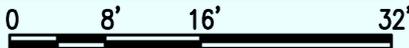


NINETEENTH FLOOR PLAN DRAWING

1

NINETEENTH FLOOR PLAN

1/16" = 1'-0"



- KEY:
- ZONE 1 - RESTORATION ZONE
 - ZONE 3 - RENOVATION ZONE
 - ZONE 2 - REHABILITATION ZONE
 - ZONE 4 - FREE ZONE

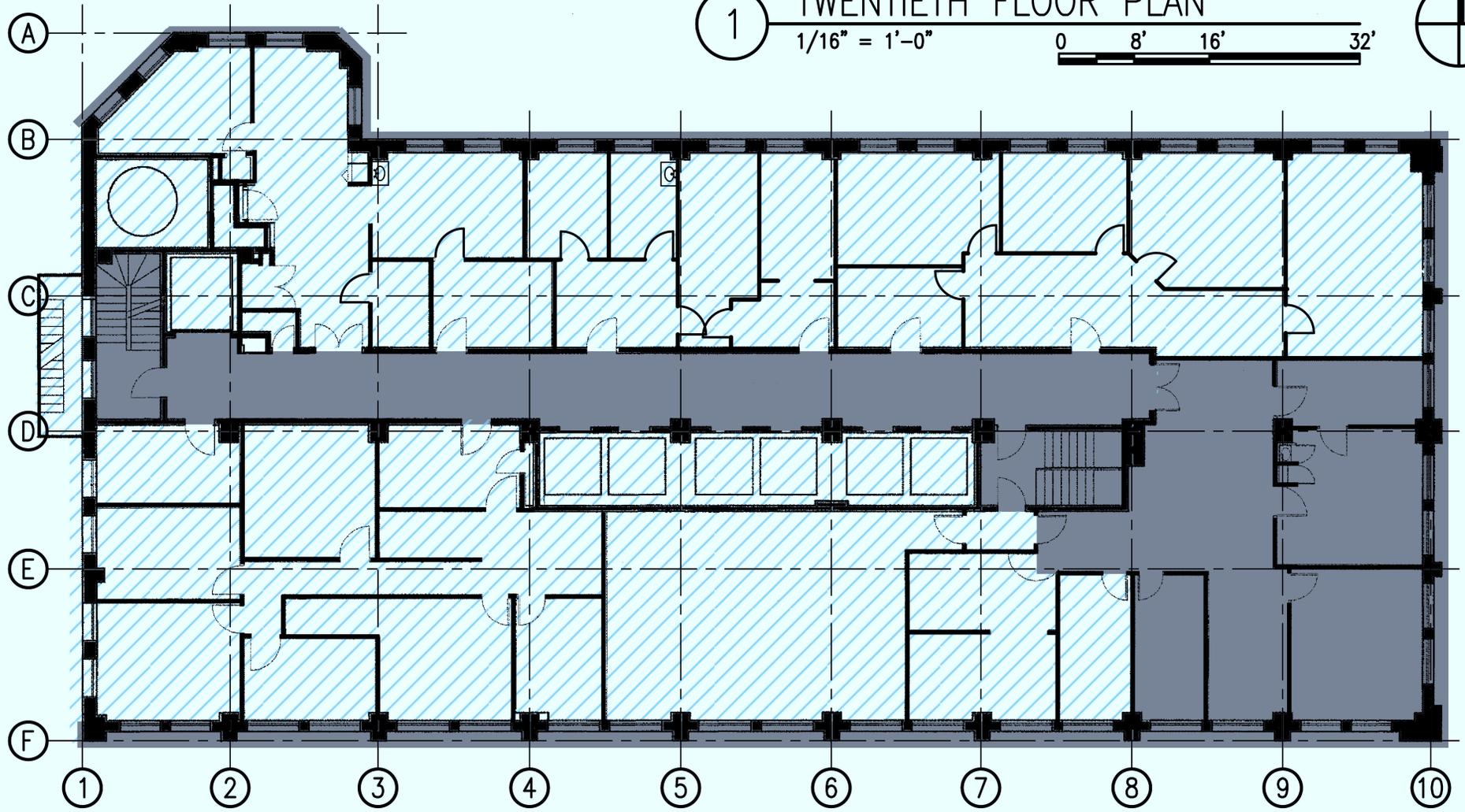


TWENTIETH FLOOR PLAN DRAWING

1

TWENTIETH FLOOR PLAN

1/16" = 1'-0"



KEY:	ZONE 1 - RESTORATION ZONE	ZONE 3 - RENOVATION ZONE
	ZONE 2 - REHABILITATION ZONE	ZONE 4 - FREE ZONE



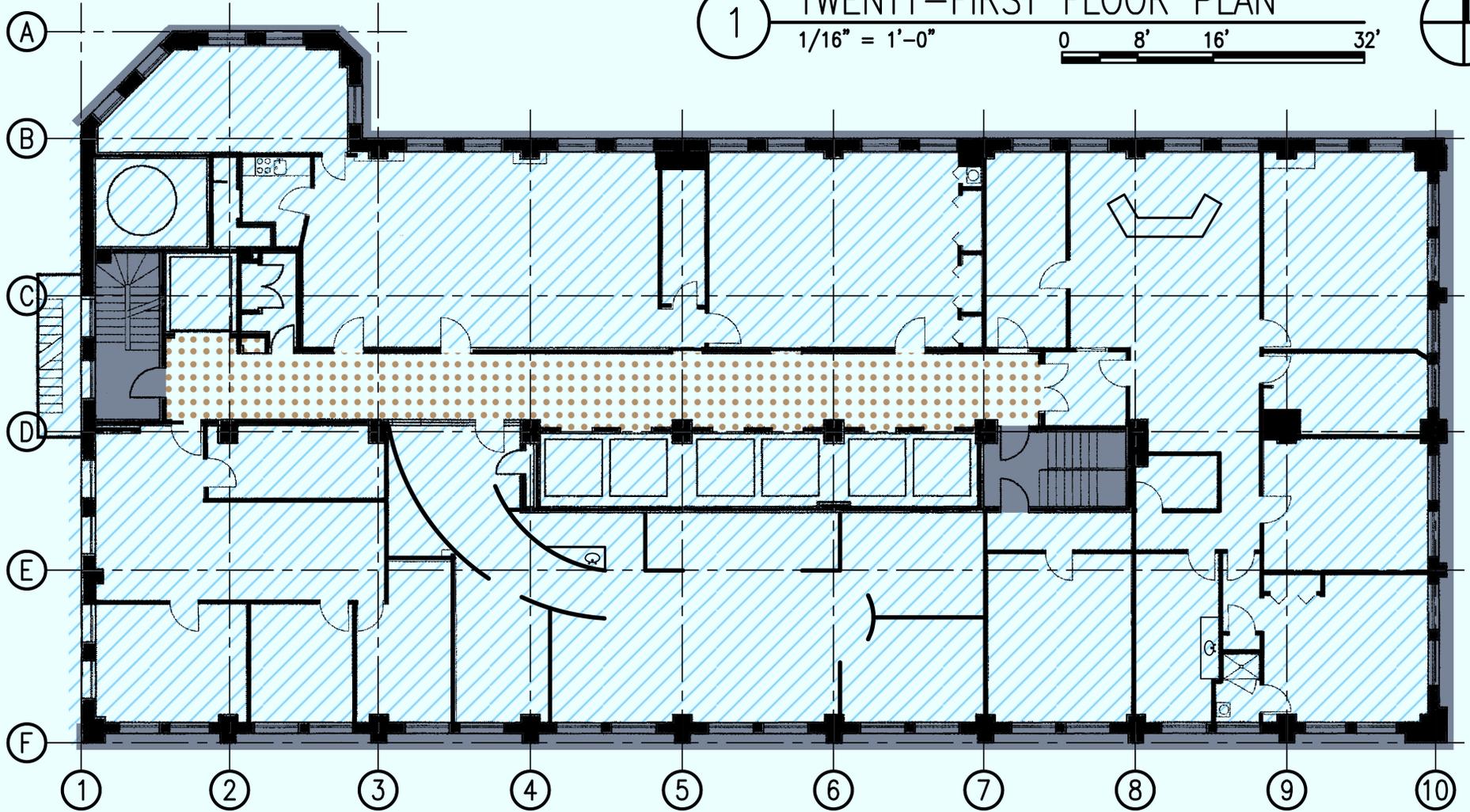
TWENTY-FIRST FLOOR PLAN DRAWING

1 TWENTY-FIRST FLOOR PLAN

1/16" = 1'-0"



PLAN NORTH



JLA

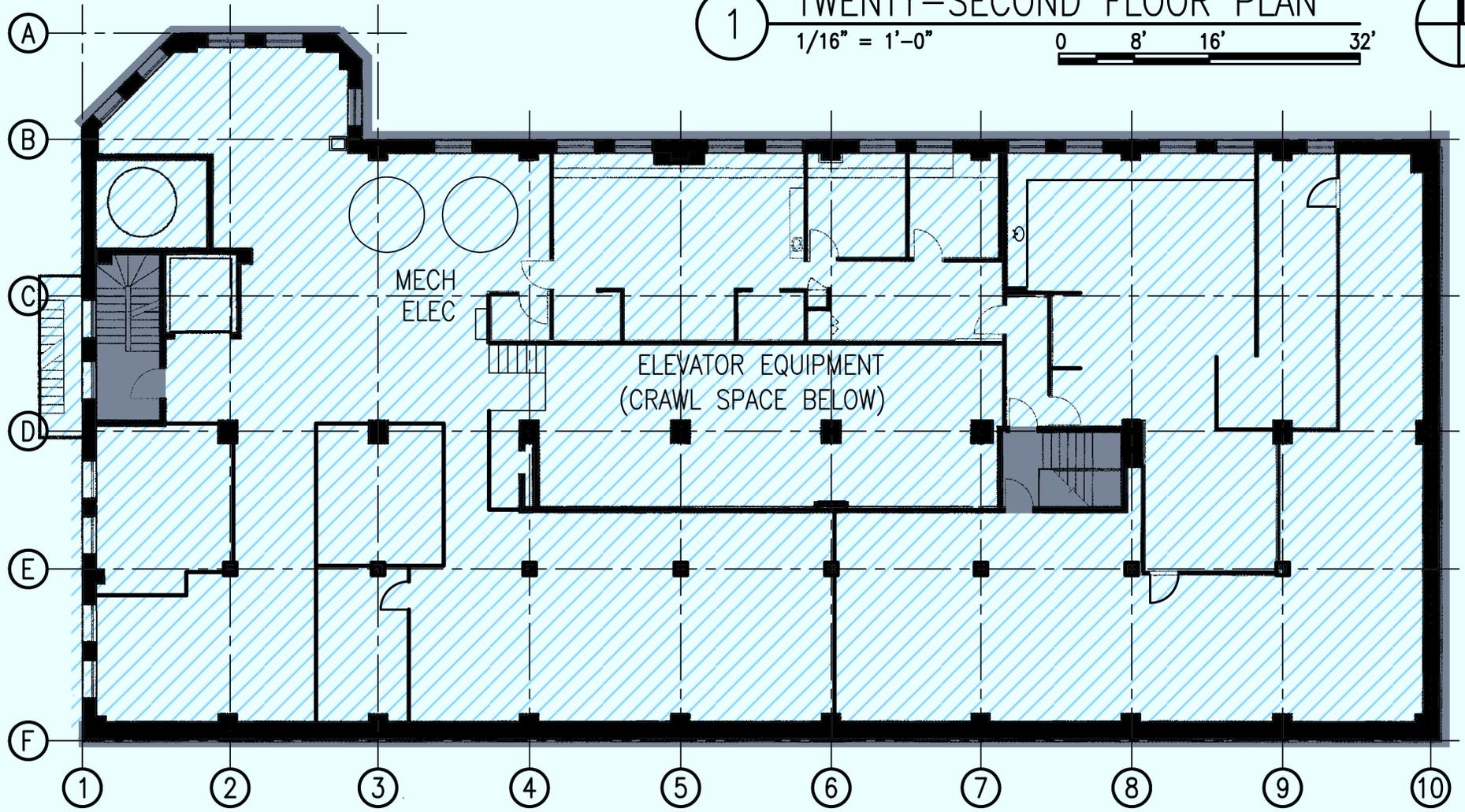
KEY:  ZONE 1 - RESTORATION ZONE
 ZONE 2 - REHABILITATION ZONE

 ZONE 3 - RENOVATION ZONE
 ZONE 4 - FREE ZONE

WMA

TWENTY-SECOND FLOOR PLAN DRAWING

1 TWENTY-SECOND FLOOR PLAN
1/16" = 1'-0"
0 8' 16' 32'



KEY: ZONE 1 - RESTORATION ZONE ZONE 2 - REHABILITATION ZONE ZONE 3 - RENOVATION ZONE ZONE 4 - FREE ZONE



IV. APPENDIX



A. Cost Estimate

Background

In order to provide the GSA with more useful budget information, costs for the specific preservation treatments recommended in this report as well as a shell and core level renovation of these buildings are presented. The estimate is for construction costs. It does not include all project related costs.

Except for ground floor retail tenants, this building is vacant. It has largely substandard or non-operational engineered systems. The condition of partitions and finishes varies considerably. Many areas are not currently habitable. With the building in this state, the pricing of historic preservation treatments may not be seen as a particularly useful exercise. The pricing of these treatments is really only meaningful in the context of a full building renovation which would return the structure to a useable condition. In addition to pricing the specific preservation treatments, we have therefore provided costs for the remaining renovations required to return the building to use as government offices with ground floor and partial basement retail tenants. Sub-basement spaces would be used for storage and mechanical uses. Although this renovation pricing is provided at a very conceptual level, we hope it will provide the GSA with a more comprehensive budget picture and be useful for making decisions about the possible reuse of this building.

The cost estimate is organized in two parts. The first is included in the “Inventory of Historic Elements,” section IIC of the report. In table format, it establishes costs for treatments of the specific historic elements identified in the accompanying report. The second part of the cost estimate, located within this appendix, addresses the additional costs associated with renovating the remaining parts of the building. These are furnished in a cost per square foot or lump sum format. By adding these two sets of cost together, a total cost for renovation can be derived.

In some cases the cost to repair or restore an item represents a premium above an alternative treatment of the item such as removal, removal and replacement with another non-historic material. In other cases restoration might be more cost effective than replacement. The cost estimate therefore does not afford a comparison between what a non-historic rehabilitation would cost versus a rehabilitation that incorporates the restoration/preservation of historic elements.

Please note that the cost estimate does not contain costs associated with LEED compliance or overall commissioning. Hazardous material abatement is not included. Temporary utilities are not included and are assumed to be paid for by

the government. A design contingency of 5% is part of the estimate along with a contractor's contingency of 5%. Cost escalation of 2.5% through June of 2011 is included.

PHASE #	DESCRIPTION	QUANT.	UNIT	UNIT COST	TOTAL COST	CATEGORY COST	COST PER SF	% COST
				0.00	-			
01566	Sidewalk canopy set up and moves	1	Allow	14,000.00	14,000			
01566-01	Sidewalk canopy lighting	1	Ls	5,000.00	5,000			
01960	SECURITY					-	0.00	0.00%
	By Owner			0.00	-			
01550	TEMPORARY CONSTRUCTION					49,100	0.20	0.13%
				0.00	-			
01555-06	Plywood temporary partitions	22	Flrs	1,350.00	29,700			
01556-01	Temp Fire extinguishers	22	Flrs	200.00	4,400			
01557	Temporary Stairs and Landings	1	Allow	15,000.00	15,000			
01740	CONSTRUCTION CLEANING					243,898	0.98	0.63%
				0.00	-			
01741	Daily/weekly clean up	52	week	2,720.00	141,440			
01742	Final clean up	248,525	sf	0.30	74,558			
01750	Dumpsters - 20 cy	90	ea	310.00	27,900			
01800	GENERAL EQUIPMENT					35,000	0.14	0.09%
				0.00	-			
01825	Small Tools - % of self perform work	1	Allow	35,000.000	35,000			
	Generator		mo	556.00	-			
01830	STAGING AND HOISTING					-	0.00	0.00%
01830	SCAFFOLDING					32,955	0.13	0.08%
				0.00	-			
01852	Steel heavy duty shoring	2,500	sf	0.75	1,875			
01870	Swing Stage	6	Mo	4,500.00	27,000			
01871	Beta Hoist	3	Mo	1,360.00	4,080			
01300	PREMIUM TIME					75,000	0.30	0.19%
				0.00	-			
96000	Premium Time Allowance	1	Allow	75,000.00	75,000			
01720	WINTER CONDITIONS					-	0.00	0.00%
	By Owner			0.00	-			
02240	DEWATERING ALLOWANCE					-	0.00	0.00%
02180	HAZARDOUS MATERIAL ABATEMENT					-	0.00	0.00%
	SITWORK							
02020	SITE DEMOLITION					5,000	0.02	0.01%
				0.00	-			
02023-03	Remove sidewalks	0	sf	0.90	-			
02023-04	Remove concrete pads			0.00	-			
02026	Remove misc site items	1	Allow	5,000.00	5,000			
02010	SELECT DEMOLITION					745,575	3.00	1.92%
2010	General Interior Demolition/Removal	248,525	Sf	3.00	745,575			
				0.00	-			
02200	SITE EXCAVATION					-	0.00	0.00%
01600	EROSION CONTROL					-	0.00	0.00%
02250	SHORING AND UNDERPINNING					36,000	0.14	0.09%
				0.00	-			
02252	Shore beams and structural members	1	Allow	25,000.00	25,000			
02253	Shore floor and roof structures	22	levels	500.00	11,000			
02260	EARTH RETENTION					-	0.00	0.00%
02245	DEEP FOUNDATIONS					-	0.00	0.00%
02500	SITE UTILITIES					-	0.00	0.00%
02700	ASPHALT PAVING					-	0.00	0.00%
02710	SITE CONCRETE					-	0.00	0.00%
02780	HARDSCAPE PAVING					-	0.00	0.00%
02782	SPECIAL PAVEMENTS					-	0.00	0.00%
02800	SITE IMPROVEMENTS					-	0.00	0.00%
02820	FENCING					-	0.00	0.00%
02900	LANDSCAPING					-	0.00	0.00%
02900	BUILDING EXCAVATION					-	0.00	0.00%
02361	PEST CONTROL					-	0.00	0.00%
03300	CONCRETE					292,772	1.18	0.75%
				0.00	-			
	Concrete Ready mix:			0.00	-			
	4000 psi	207	cy	93.00	19,261			
	5000 psi		cy	97.00	-			
	lightweight slab on deck	207	cy	132.00	27,324			
03361-02	Slabs on metal deck complete	12,426	sf	5.50	68,344			
03361-03	Roof slab complete			0.00	-			
	Wire mesh - install only	12,426	sf	0.30	3,728			
03390	Misc Concrete Work Complete	1	Allow	25,000.00	25,000			
				0.00	-			
03500	Cementitious Decks and Underlayment			0.00	-			
03510	Cementitious Roof Deck			0.00	-			
03520	Lightweight Concrete Roof Insulation			0.00	-			
03530	Concrete Topping 10% Required fix	24,853	SF	6.00	149,115			
03400	PRECAST CONCRETE					-	0.00	0.00%
03540	CONCRETE FLOOR PREP					160,160	0.64	0.41%
				0.00	-			
03541	MR prep blast, and ardex	20,000	SF	3.50	70,000			
	MR prep with Creteseal CS2000	10,000	Sf	1.25	12,500			
03542	latex patching	15,000	Sf	3.25	48,750			
03543	ardex leveling	9,800	Sf	2.95	28,910			
03544	Bonding agents			0.00	-			
03900	CONCRETE RESTORATION					80,000	0.32	0.21%

PHASE #	DESCRIPTION	QUANT.	UNIT	UNIT COST	TOTAL COST	CATEGORY COST	COST PER SF	% COST
				0.00	-			
03900	Concrete Restoration and Cleaning	1	Allow	55,000.00	55,000			
03960	Concrete Cutting and Coring	1	Allow	25,000.00	25,000			
04000	MASONRY					374,033	1.51	0.96%
4000	Interior Masonry Repairs	1	Allow	210,000.00	210,000			
4000	Clay Tile Repairs (3% repair area)	7,456	SF	22.00	164,033			
04910	MASONRY RESTORATION					-	0.00	0.00%
	See Attached Inventory of Elements Pricing			0.00	-			
05000	STRUCTURAL STEEL AND DECK					-	0.00	0.00%
05500	MISCELLANEOUS STEEL					50,000	0.20	0.13%
				0.00	-			
05500	Metal Fabrications	1	Allow	50,000.00	50,000			
06100	ROUGH CARPENTRY					513,916	2.07	1.32%
6100	Rough Carpentry Required	22	Flrs	15,000.00	330,000			
6100	Wood/Structural Subfloor repairs (5% repair/replace)	12,427	SF	14.80	183,916			
06200	MILLWORK AND FINISH CARPENTRY					220,000	0.89	0.57%
	Millwork			0.00	-			
06200	Finish Carpentry and Millwork Furnish and Install	22	Flrs	10,000.00	220,000			
07100	DAMPROOFING/WATERPROOFING					50,000	0.20	0.13%
				0.00	-			
07110	Dampproofing	1	Allow	50,000.00	50,000			
07200	THERMAL PROTECTION					183,900	0.74	0.47%
				0.00	-			
07213	Ceiling insulation	1	Ls	75,000.00	75,000			
07214	Roof insulation	1	Ls	40,000.00	40,000			
07215	Blown in insulation	1	Ls	68,900.00	68,900			
07240	EIFS					-	0.00	0.00%
07500	ROOFING					170,250	0.69	0.44%
				0.00	-			
07510	Built-Up Bituminous Roofing Repair not Replace	8,875	Sf	18.00	159,750			
07701	Roof Hatches	3	ea	3,500.00	10,500			
07500	METAL WALL PANELS					-	0.00	0.00%
07800	FIRE SAFING/STOPPING					152,000	0.61	0.39%
				0.00	-			
07840	Firestopping	1	Allow	50,000.00	50,000			
07842	Firestopping at penetrations	1	Allow	25,000.00	25,000			
07843	Firestopping at floor perimeters	1	Allow	35,000.00	35,000			
07860	Smoke Seals	1	Allow	20,000.00	20,000			
07870	Smoke Containment Barriers	1	Allow	22,000.00	22,000			
07810	APPLIED FIREPROOFING					40,000	0.16	0.10%
				0.00	-			
	Intumescent Fireproofing	1	Allow	15,000.00	15,000			
07810	Spray Applied Fireproofing	1	Allow	25,000.00	25,000			
07900	JOINT SEALANTS					-	0.00	0.00%
08100	DOORS, FRAMES AND HARDWARE					112,640	0.45	0.29%
				0.00	-			
08000	Door, Frame and Hardware Furnish and install	44	leaf	2,000.00	88,000			
08780	Special Function Hardware	44	Ea	560.00	24,640			
08300	SPECIALTY DOORS					-	0.00	0.00%
08800	GLASS & GLAZING					59,000	0.24	0.15%
				0.00	-			
08120	Aluminum Doors And Frames	4	leaf	3,500.00	14,000			
08450	All-Glass Entrances And Storefronts	0		0.00	-			
08470	Revolving Entrance Doors	0	ea	45,000.00	-			
08500	Windows		sf	75.00	-			
08970	Structural Glass Curtain Walls	300	sf	150.00	45,000			
05400	LIGHT GAUGE METAL FRAMING					150,000	0.60	0.39%
				0.00	-			
05430	Composite exterior wall framing, 6" studs, batt insulation, air barrier, interior drywall, taped, exterior sheathing	1	Allow	150,000.00	150,000			
05435	Composite exterior wall 6" framing, sheathing, 2" rigid insulation, membrane waterproofing, interior drywall taped			0.00	-			
09250	GYPNUM DRYWALL & PLASTER					515,155	2.07	1.33%
	25% Figured for replacement			0.00	-			
09250	Drywall Work Compete			0.00	-			
09262-1	4" walls, insulated, drywall 2 sides, taped 1 hour	20,219	sf	6.95	140,523			
	4" shaft wall	11,000	sf	7.00	77,000			
09263-1	6" walls, insulated, drywall 2 sides, taped 1 hr,	20,220	sf	8.20	165,804			
09271	Gypsum board/Plaster ceilings 15% Figured	20,219	sf	6.52	131,829			
09600	FLOORING					366,989	1.48	0.95%
	5% Replacement Flooring Figured			0.00	-			
09312	Ceramic floor tile	12,426	sf	23.70	294,502			
09652	VCT floor	12,426	sf	2.50	31,066			
09670	Fluid-Applied Flooring			0.00	-			
09680	Carpet	1,381	sy	30.00	41,421			
09510	CEILINGS					-	0.00	0.00%
09700	WALL FINISHES					-	0.00	0.00%
09900	PAINTING					215,491	0.87	0.56%
	White Box Painting 100%			0.00	-			
09910	Partition painting	109,296	Sf	0.80	87,437			
	Ceiling painting	134,794	Sf	0.95	128,054			
10000	SPECIALTIES					-	0.00	0.00%
11000	EQUIPMENT					-	0.00	0.00%
12000	FURNISHINGS					-	0.00	0.00%

PHASE #	DESCRIPTION	QUANT.	UNIT	UNIT COST	TOTAL COST	CATEGORY COST	COST PER SF	% COST
13000	SPECIAL CONSTRUCTION					-	0.00	0.00%
14000	CONVEYING SYSTEMS					1,320,000	5.31	3.40%
	Minor upgrades			0.00	-			
14290	Elevator Renovation 6 Cars (22 Stops)	22	Stops	60,000.00	1,320,000			
15050	CUTTING & PATCHING FOR MEPFP					125,000	0.50	0.32%
	Cutting and Patching for all	1	Allow	125,000.00	125,000			
15300	FIRE PROTECTION					621,313	2.50	1.60%
	Fire Protection	248,525	Sf	2.50	621,313			
				0.00	-			
15400	PLUMBING					3,230,825	13.00	8.33%
				0.00	-			
15400	Plumbing (Renovate Bathrooms)	248,525	Sf	13.00	3,230,825			
15500	HVAC					2,500,250	10.06	6.44%
				0.00	-			
	Engineering	1	Ls	15,000.00	15,000			
	temporary heating/cooling requirements			0.00	-			
15000	Mechanical (Rework System)	248,525	Sf	10.00	2,485,250			
16000	ELECTRICAL					3,181,120	12.80	8.20%
				0.00	-			
16000	Electrical (Rework System)	248,525	Sf	12.80	3,181,120			
17000	LOW VOLTAGE ELECTRICAL SYSTEMS					110,000	0.44	0.28%
				0.00	-			
16700	Communications	1	Allow	70,000.00	70,000			
16720	Telephone And Intercommunication Equipment	1	Allow	15,000.00	15,000			
16900	Fire Alarm System	1	Allow	25,000.00	25,000			
	Inventory of Historic Preservation Elements					13,574,012	54.62	34.99%
				0.00	-			
	See Attached Breakdown Inventory Pricing	1	Ls	13,574,012.20	13,574,012			
	SUBTOTAL				16,423,954	29,997,966	\$120.70	77.32%
99000	GENERAL CONDITIONS				8.00%	2,399,837	9.66	6.19%
99000	GENERAL LIABILITY INSURANCE				1.00%	323,978	1.30	0.84%
99000	BUILDERS RISK INSURANCE					0.00	0.00	0.00%
99000	PERMIT	248,525	SF	\$ -		0	0.00	0.00%
99000	SALES TAX					0	0.00	0.00%
					0.00%	0	0.00	0.00%
	SUBTOTAL					32,721,781	\$131.66	84.34%
99000	FEE				4.00%	1,308,871	5.27	3.37%
99000	PRECONSTRUCTION SERVICES				0.50%	163,609	0.66	0.42%
99000	PERFORMANCE BOND				0.85%	290,651	1.17	0.75%
	SUBTOTAL					\$34,484,913	\$138.76	88.89%
99000	MATERIAL AND LABOR ESCALATION				2.50%	862,123	3.47	2.22%
99000	CONTRACTOR CONTINGENCY				5.00%	1,724,246	6.94	4.44%
	DESIGN CONTINGENCY				5.00%	1,724,246	6.94	4.44%
	TOTAL					\$38,795,527	\$156.10	100.00%

CLARIFICATIONS

ALTERNATES